

## **NOTICE OF THE REGULAR MEETING OF THE PLAN COMMISSION**

The regular meeting of the Plan Commission is scheduled for  
Thursday, September 17, 2020 beginning at 7:00 p.m.

A copy of the agenda for this meeting is attached hereto and  
can be found at [www.tinleypark.org](http://www.tinleypark.org).

### **NOTICE - MEETING MODIFICATION DUE TO COVID-19**

Pursuant to Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, and Executive Order 2020-39, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on May 29, 2020, the members of the Plan Commission will be participating in the meeting through teleconference.

A livestream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-10 and CDC guidelines, no more than 10 people will be allowed in the Council Chambers at any one time. Anyone in excess of 10 people will be asked to wait in another room with live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments.

***Public comments or requests to speak may also be emailed in advance of the meeting to [clerksoffice@tinleypark.org](mailto:clerksoffice@tinleypark.org) or placed in the Drop Box at the Village Hall by noon on Thursday, September 17, 2020.***

Kristin A. Thirion  
Clerk  
Village of Tinley Park



## **AGENDA FOR REGULAR MEETING VILLAGE OF TINLEY PARK PLAN COMMISSION**

**September 17, 2020 – 7:00 P.M.  
Council Chambers  
Village Hall – 16250 S. Oak Park Avenue**

**Regular Meeting Called to Order**

**Roll Call Taken**

**Communications**

**Approval of Minutes:** Minutes of the September 3, 2020 Regular Meeting

**ITEM #1      Public Hearing – Pete’s Fresh Market, 16300 Harlem Avenue  
Special Use for a Substantial Deviation of the Park Place PUD**

Consider recommending that the Village Board grant Petros Drimonas, Pete’s Fresh Market, on behalf of 163<sup>rd</sup> & Harlem LLC (property owner) a Special Use for a Substantial Deviation of the Park Place Planned Unit Development (89-O-048) for a phased development located at 16300 S. Harlem Avenue, Tinley Park. The granting of this request will allow for the use of the former K-Mart structure as a warehouse/distribution center in Phase 1. Phase 2 shall include the construction of a new grocery store (Pete’s Fresh Market), associated retail (approximately 119,000 Sq. Ft.) and renovation of the former K-Mart store for an additional 38,000 Sq. Ft. retail as Phase 2.

**ITEM #2      Workshop/Approval – Chipotle Commercial Building (Formally Bank of America),  
7228 191<sup>st</sup> Street – Site Plan Approval**

Consider recommending that the Village Board grant Daniel Abdo on behalf of Glazier Development Group (Contract Purchaser), is seeking a Site Plan Amendment to make site and façade changes for a two-tenant commercial building at 7228 W 191st Street in the B3 PD (General Business and Commercial, Brookside Marketplace PUD) Zoning District.

**ITEM #3      Workshop/Public Hearing - New School for Massage, Bodywork & Healing,  
18440 Thompson Court, Suite 10 - Special Use Permit**

Consider recommending that the Village Board grant New School for Massage, Bodywork & Healing (tenant), approval of a Special Use Permit for a vocational massage school at 18440 Thompson Court, Suite 10 in the ORI (Office & Restricted Industrial) zoning district.

**Good of the Order**

**Receive Comments from the Public**

**Adjourn Meeting**



**MINUTES OF THE REGULAR MEETING OF THE  
PLAN COMMISSION, VILLAGE OF TINLEY PARK,  
COOK AND WILL COUNTIES, ILLINOIS**

**SEPTEMBER 3, 2020**

The meeting of the Plan Commission, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on September 3, 2020.

At this time, CHAIRMAN GRAY, stated the meeting was being held remotely consistent with Governor Pritzker's Executive Order 2020-07, Executive Order 2020-10, Executive Order 2020-18, Executive Order 2020-32, Executive Order 2020-33, Executive Order 2020-39, and Executive Order 2020-44, which collectively suspends the Illinois Open Meetings Act requirements regarding in-person attendance by members of a public body during the duration of the Gubernatorial Disaster Proclamation, issued on June 26, 2020, the members of the Village Board will be participating in the meeting through teleconference.

A live stream of the electronic meeting will be broadcasted at Village Hall. Pursuant to Governor's Executive Order No. 2020-43 and CDC guidelines, no more than 50 people or 50% of the maximum capacity will be allowed in the Council Chambers at any one time, so long as attendees comply with social distancing guidelines. Anyone in excess of the maximum limit will be asked to wait in another room with a live feed to the meeting until the agenda item for which the person or persons would like to speak on is being discussed or until the open floor for public comments. CHAIRMAN GRAY confirmed Commissioners and Staff were able to communicate. All replied affirmatively. CHAIRMAN GRAY then addressed ground rules for the effective and clear conduct of Plan Commission business.

Secretary Bennett called the roll.

Present and responding to roll call were the following:

Chairman Garrett Gray (Participated electronically)  
Kehla West (Participated electronically)  
Eduardo Mani (Participated electronically)  
Lucas Engel (Participated electronically)  
Angela Gatto (Participated electronically)  
James Gaskill

Absent Plan Commissioners: MaryAnn Aitchison  
Steven Vick

Village Officials and Staff: Paula Wallrich, Planning Manager (Participated electronically)  
Dan Ritter, Senior Planner  
Barbara Bennett, Commission Secretary

**CALL TO ORDER**

PLAN COMMISSION CHAIRMAN GRAY called to order the Regular Meeting of the Plan Commission for September 3, 2020 at 7:00 p.m.

**COMMUNICATIONS**

None

**APPROVAL OF MINUTES**

Minutes of the August 20, 2020 Regular Meeting of the Plan Commission were presented for approval. A Motion was made by COMMISSIONER ENGEL, seconded by COMMISSIONER GATTO to approve the minutes as presented.

AYE: COMMISSIONERS MANI, ENGEL, GASKILL, GATTO, WEST and CHAIRMAN GRAY.

NAY: None.

CHAIRMAN GRAY declared the Motion approved by voice vote.

DRAFT

**TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES**

**FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION**

**SUBJECT: MINUTES OF THE SEPTEMBER 3, 2020 REGULAR MEETING**

**ITEM #1 Workshop – Pete’s Fresh Market – 16300 Harlem Avenue  
Special Use for a Substantial Deviation of the Park Place PUD**

Consider recommending that the Village Board grant Petros Drimonas, Pete’s Fresh Market, on behalf of 163<sup>rd</sup> & Harlem LLC (property owner) a Special Use for a Substantial Deviation of the Park Place Planned Unit Development (89-O-048) for a phased development located at 16300 S. Harlem Avenue, Tinley Park. The granting of this request will allow for the use of the former K-Mart structure as a warehouse/distribution center in Phase 1. Phase 2 shall include the construction of a new grocery store (Pete’s Fresh Market), associated retail (approximately 119,000 Sq. Ft.) and renovation of the former K-Mart store for an additional 38,000 Sq. Ft. retail as Phase 2.

Present Plan Commissioners: Chairman Gray (Participated electronically)  
Eduardo Mani (Participated electronically)  
Lucas Engel (Participated electronically)  
Angela Gatto (Participated electronically)  
Kehla West (Participated electronically)  
James Gaskill

Absent Plan Commissioners: Mary Aitchison  
Steven Vick

Village Officials and Staff: Paula Wallrich, Planning Manager (Participated electronically)  
Dan Ritter, Senior Planner  
Barbara Bennett, Commission Secretary

Guests: Eugene Grzynkowicz, PM Realty, Inc. (Participated electronically)  
Stephanie Dremonas, PM Realty, Inc. (Participated electronically)  
John Bradshaw, Architect. (Participated electronically)

Paula Wallrich, Planning Manager presented the Staff Report. Pete’s Fresh Market (PFM) recently purchased the former K-Mart property at 16300 Harlem Avenue and is presenting a conceptual development proposal that includes new construction of a ±76,000 sq. ft. grocery store and ±43,000 sq. ft. retailer. They also propose to redevelop the former K-Mart store to provide an additional ±38,000 sq. ft. of retail space and ±138,000 sq. ft. of accessory warehouse/distribution space. The proposal will require an amendment to the existing Park Place Planned Unit Development as a Substantial Deviation. The project will be developed in phases, with Phase 1 comprising the re-use of the former K-Mart building for warehouse/distribution uses. Phase 2 will include the construction of a Pete’s Fresh Market grocery store and associated retail. Phase 2 will also include the renovation of the former K-Mart store to include an additional ±38,000 sq. ft. of retail and maintain the warehouse/distribution uses as accessory to the grocery store.

She noted the proposed development for Pete’s Fresh Market is located in the Park Place PUD, adopted on November 7, 1989 (89-O-045). The original planning for this property included Single Family (R-1) and General Business and Commercial uses (B-3) with the hope of attracting a hotel, restaurant, office and retail uses. Additionally, there were hopes to build a 9-hole golf course as part of the mixed-use PUD. The residential uses were constructed on the west side of the property and in 1993 the Village amended the PUD (93-O-36) to allow for the construction of the Aldi store. A PACE Warehouse Store (a membership buyer’s club) was already constructed north of Aldi and is now occupied by Sam’s Club. Two years later in 1995, the Village amended the PUD again to provide for the K-Mart store (95-O-001) and outlot; the required stormwater management essentially eliminated any future plans for a golf course. The perimeter fencing, landscape berms and parking lot improvements were all constructed with the development of the K-Mart store.

Ms. Wallrich displayed an image of the parcel owned by Pete's Fresh Market. It is a rather large area totaling 53 acres. The proposed development comprises two of the four parcels previously owned by the K-Mart corporation. Parcel 1 (27-24-202-020-000) comprises almost 26 acres and includes the former K-Mart Store with associated parking. Parcel 2 (27-24-202-021-000) is just over an acre in size and is undeveloped. There are two other parcels under PFM ownership but they are located south and west and are undevelopable (contain floodplain and storm water detention for the site). The Substantial Deviation will cover both parcel 1 & 2; however, the proposed project is primarily planned for Parcel 1.

She further noted the project will be developed in phases with the first phase involving the use of the former K-Mart store for warehouse/distribution uses. Due to COVID-19, Pete's Fresh Market has experienced increased demand for warehouse space at their existing warehouse facilities. Currently, their warehouses contain dry goods and some non-grocery related items such as fixtures and spare equipment for their stores. PFM proposes to use the vacant K-Mart store to relocate these items to make room for more grocery related items in their existing warehouse facilities. They have also stated that during this time of COVID-19 they have been presented with purchasing opportunities for items of necessity that have been difficult to keep stocked in their stores. Therefore, they propose to use the Tinley Park property to store some of these products as well.

Ms. Wallrich explained that PFM has committed to beginning construction for Phase 2 by June 1, 2021; therefore, no physical alterations are planned for the site or building for Phase 1 beyond continued maintenance and life safety requirements for occupancy of the warehouse at this time.

Phase 2 will comprise the construction of a Pete's Fresh Market grocery store ( $\pm 76,000$  sq. ft.) with an additional  $\pm 43,000$  sq. ft. of associated retail. This phase will also include the renovation of the former K-Mart store to include an additional  $\pm 38,000$  sq. ft. of retail that will wrap around the northeast corner of the former K-Mart Store. Phase 2 will allow for the continuation of the warehouse/distribution uses as accessory to the grocery store and will involve the construction of five (5) additional loading docks on the west side of the existing loading dock.

Discussions with the applicant have resulted in an anticipated schedule for Phase 2 as follows:

|                   |   |
|-------------------|---|
| November 15, 2020 | Phase 2 PUD submittal by PFM              |
| January 21, 2021  | PC # 1 workshop - Pete's PUD Phase 2      |
| February 4, 2021  | PC #2 Public Hearing - Pete's PUD Phase 2 |
| February 15, 2021 | VB First Reading, Pete's PUD Phase 2      |
| March 1, 2021     | VB Adoption, Pete's PUD Phase 2           |
| April 1, 2021     | PFM submit for building permit            |
| May 15, 2021      | Village issue building permit             |
| June 1, 2021      | Groundbreaking                            |
| September 1, 2022 | Grand opening of Pete's Fresh Market      |

Ms. Wallrich then explained the zoning and landuse of the property and immediate vicinity. The subject parcel is located in the Park Place PUD with the underlying zoning of B-3, General Business and Commercial. It is located along Harlem Avenue, one of the Village's major commercial corridors.

The property to the north is also zoned B-3 PUD (Park Center Plaza PUD) and is developed with commercial uses. The property to the west is developed with two-family duplexes, zoned R-6. To the east, across Harlem Avenue, the property is zoned B-4, Office and Service Business zoning district, and is occupied by a medical office building. Just north of the medical office building is the Tinley Park Plaza retail center and is zoned B-2 PUD. South of the subject property is an unincorporated and undeveloped parcel that has been used for various recreational uses (frisbee golf and dog park) that is operated by the Tinley Park-Park District.

Pete's Fresh Market is seeking several approvals. They are requesting approval of the overall conceptual site plan and final approval of the Special Use for the Substantial Deviation that will provide for the warehouse/distribution use in Phase 1 and the

construction of ±119,000 Sq. Ft. of retail use and the renovation of ±38,000 Sq. Ft. in the former K-Mart Store for retail uses in Phase 2. As part of the Substantial Deviation, they are requesting several exceptions to the Village Code as noted in “Open Items”.

Ms. Wallrich explained that warehouse/distribution uses are permitted in the M1 (General Manufacturing) and MU-1 (Mixed Use Duvan Drive) zoning districts. They are not a Permitted or Special Use in the B-3 district, which is the zoning of the subject parcel. Any consideration of permanent, non-permitted uses on this site requires a Special Use for a Substantial Deviation of the PUD. Earlier this year, the Village adopted an amendment to the Zoning Ordinance to allow warehouse/distribution uses as a temporary use in a B-3 district with conditions. The Village Board approved a 6-month temporary use permit for a warehouse/distribution use for PFM on May 19, 2020. However, after discussions with staff it was recommended they follow the more permanent solution that aligns with their long-term goal of developing the site for a new grocery store with associated warehouse/distribution uses. They are requesting the use of the former K-Mart store for the storage of dry goods and equipment. They plan to occupy ±138,000 sq. ft. of the existing structure and will not be installing any racking or other permanent improvements as part of Phase 1. They are not planning on making any improvements to the exterior of the building as part of Phase 1; however, with Phase 2 there will be erecting demising walls to provide for the new retail space that will anchor the northeast corner of the building. There will also be façade and site improvements to the existing building with Phase 2.

She noted that warehouse/distribution uses are defined as “Warehouse, Distribution Plants and Wholesale Establishments (are) engaged in the storage, wholesale, or distribution of manufactured products, supplies and equipment, excluding bulk storage of material that are flammable or explosive.” The consideration of a warehouse/distribution use in the B-3 district necessarily requires an analysis of potential negative impacts resulting from the use. Traffic volume and pattern, screening, hours of operation, noise, overnight storage of delivery vehicles, and outdoor storage are all issues that require thorough consideration and mitigation tactics.

Ms. Wallrich then discussed the conceptual site plan noting that currently, there are 5 docks on the east side of the dock area at the south side of the store. In Phase 1, PFM will continue to use these docks. In Phase 2 they will construct 5 additional docks on the opposite (west) side of the dock area. PFM anticipates no greater than 15 trips per day in Phase 1. As a point of comparison, deliveries are made at the Aldi and Sam’s Club as well as for the former K-Mart store. The number of trips for Phase 2 will be reviewed upon that submittal; staff will recommend a traffic study at that time.

In Phase 1 the proposed route for delivery truck traffic is as depicted in a counter-clockwise fashion around the building. Routing will be reassessed with Phase 2 that will eliminate trucks traversing along the front (north) side of the former K-Mart store. The Plan Commission should discuss the impact of anticipated delivery truck traffic volume and truck routing.

There is a berm just south of this area with mature landscaping that provides screening for northbound traffic on Harlem Avenue. There is also existing landscaping along Harlem Avenue that provides screening from the public ROW, except for the opening at the right-in/right-out access. There is a solid wood fence along the west property line. It is important to note that the residential area does not abut the former K-Mart store.

Ms. Wallrich noted that there was mature landscaping along the Harlem Avenue Right-of-Way on Google streetview, which was depicted in the staff report, however, after driving out to the site, it was noticed that some of the trees south of the 163<sup>rd</sup> access have been removed. The original landscaping provided screening of the dock area. She noted that even though there is a landscaped median on Harlem Avenue that helps to screen the dock area, staff would like to see the parkway trees replanted. She recommended the Plan Commission discuss the ability to screen the loading docks from public view.

PFM is requesting deliveries be allowed between the hours of 5:00 a.m. and 5:00 p.m. These hours conform to their operations and deliveries/receiving of product. In a review of deliveries for the Sam’s Club and Aldi’s the following information was provided:

|            |  |
|------------|--|
| Sam’s Club | 7:00 a.m.- 10:00 p.m.  |
| Aldi       | Liquor: 9:00 a.m.<br>Milk: 6:00 a.m.<br>Food: any time after store closes<br>(drivers have keys) |

Ms. Wallrich noted that Aldi and Sam’s Club border residential uses; the loading dock for PFM is on the south side of the former K-Mart store with a distance of over 500’ from the dock to the back of the nearest home. To allow for deliveries between the hours of 5:00 a.m. and 5:00 p.m. will require an exception to the PUD ordinance.

Ms. Wallrich discussed Ordinances related to loading operations are as follows:

1. To operate and/or maintain a motor transport engine, truck engine, reefer and/or refrigeration unit, or to allow a motor transport engine, truck engine, reefer and/or refrigeration unit to be operated on one's property, between the hours of 10:00 p.m. and 7:00 a.m. in any place within the village in which the majority of the buildings, within a radius of 300 feet, are used exclusively for residential purposes.
2. To operate a loading dock, by actively performing loading and/or unloading functions in relation thereto, between the hours of 10:00 p.m. and 6:00 a.m. in any place within the village in which the majority of the buildings, within a radius of 300 feet, are used exclusively for residential purposes.

Ms. Wallrich noted that the loading docks at the south side of Kmart are greater than 300' from residential uses. She suggested the Plan Commission discuss the impact of the requested hours of operation.

Regarding noise Ms. Wallrich presented Section V.9.A. of the Village Zoning Ordinance where there are maximum permitted sound levels at property boundaries abutting residential districts. For commercial uses the maximum is level 55 dBA during the hours of 7:00 a.m. and a maximum of 45 dBA during the hours of 10:00 p.m. to 7:00 a.m. She noted that these standards will be enforced; however, until the facility is operational the levels cannot be defined. She recommended the Plan Commission should discuss the potential for noise impact from the loading zone.

PFM is requesting the storage of delivery trucks overnight. These will be parked only at the docks; therefore, there would be a maximum of 5 trucks parked overnight on the south side of the structure.

There are two code requirements governing the overnight storage of delivery vehicle: Per Section V.C.7.e.: "Parking of trucks, when accessory to the conduct of a permitted use, shall be limited to vehicles having not more than 1 ½ tons capacity – except for pick-up or delivery service during normal business hours. Any truck exceeding 1 ½ tons capacity shall be adequately screened from public view when parked." Per the section discussed above regarding the screening of the dock area, it is staff's opinion that the dock area is adequately screen from public view.

In addition, per Section III.O., overnight parking of delivery vehicles defined as "Open Storage- Level 1, and over 8,000 pounds in weight" is prohibited in the B-3. PFM is requesting an exception to this requirement and will commit to limiting the overnight storage of delivery vehicles to five (5) parked in the existing dock area. The approval of overnight storage of delivery vehicles will require an exception to the PUD ordinance.

Ms. Wallrich recommend the Plan Commission discuss the impact of overnight storage of five (5) delivery vehicles at the loading dock.

Per Section V. of the Zoning Ordinance "All business, service, storage, merchandise display and where permitted, repair and processing, shall be conducted wholly within an enclosed building". The outdoor storage of "goods, products, materials or light equipment" is defined as "Open Storage- Level 2", which is prohibited in the B-3 district. Staff has discussed this concern with the PFM and they have stated there will be no outdoor storage related to the warehouse/distribution use. All materials and equipment will be stored inside. Staff recommends making this a condition of approval for the Substantial Deviation.

She recommended the Plan Commission discuss outdoor storage and condition approval on the prohibition of outdoor storage.

The Petitioner is requesting approval of a non-permitted use (warehouse/distribution) in the Park Place PUD. Per Section VII.C. 3.b. "*Uses permitted in a Commercial Planned Unit Development shall be as prescribed by the Plan Commission and may include uses not permitted by the use regulations of the district in which said development is located; however, the Plan Commission shall find that the uses permitted by such exception are necessary or desirable and are appropriate with respect to the primary purpose of the development.*" The primary purpose of the Park Place PUD is for commercial uses and the proposed construction and renovation of retail space is consistent with that purpose. The proposed warehouse/distribution use is considered a subordinate or accessory use to the retail uses. The warehousing of project will support the operations of the grocery store. As such it is important that any approval of a warehouse/distribution use be conditioned upon the construction and operation of a grocery store. This will eliminate the possibility of the warehouse/distribution use operating independent of a grocery store. Due to the timing proposed by PFM there will be a period of time (2 years) that the warehouse/distribution use is operating independently of the primary use (grocery store). Ms. Wallrich recommended any approval of the warehouse/distribution use be conditioned upon the



occupancy of a grocery store no later than September 1, 2022. She noted that the Plan Commission discuss recommending the warehouse/distribution use be conditioned upon occupancy of a grocery store no later than September 1, 2022

Ms. Wallrich then discussed the conceptual site plan. Final landscaping, lighting and parking ratios will be reviewed with Phase 2, along with architectural plans. The applicant is not proposing any signage with Phase 1 however there currently exists a non-conforming sign at the 163<sup>rd</sup> entrance that staff is recommending be removed as part of Phase 1. A complete sign package proposal will be required with the submittal for Phase 2 which will allow for a conforming ground sign.

The plan provides for the redesign of the parking field so that the drive aisles are perpendicular to the main retail tenant (Pete’s Fresh Market.) Staff supports the reconfiguration of the parking lot; however, the south aisle will need a landscape buffer to avoid conflicts from cars backing into the main drive aisle that runs along the north side of the K-Mart building. A 6’ public sidewalk will need to be extended from the 163<sup>rd</sup> Street access to the south property line. Private sidewalks (6’) will need to be installed from the public walk east to connect with the internal walkway system. Crosswalks will need to be installed where pedestrian access crosses drive aisles.

Ms. Wallrich recommended the Plan Commission discuss recommending for approval the Site Plan Concept with recommendations as noted by staff and conditioned upon the removal of the non-conforming ground sign. She also discussed the need to include the sidewalk and landscaping as Phase 1. She then noted that the warehouse will be operating approximately 2 years prior to the opening of the new grocery store. Construction will commence in June 2021. The site has been vacant since 2017 and continues to deteriorate. Code enforcement has been working with the property owner to ensure that the grass and weeds are maintained. There continue to be some issues related to left over sign posts, litter, condition of the fence and areas of the building that require maintenance, and overall painting and repair. Since these issues are fluid and will change over time, staff recommends these issues remain under Code Enforcement jurisdiction.

Ms. Wallrich recommended the Plan Commission discuss on-going maintenance issues on the site.

Ms. Wallrich then displayed the list of Open Items:

| <b>Open Item</b> | <b>Recommended Action</b>   |
|------------------|---|
| <b>#1</b>        | <b><i>Discuss the impact of anticipated delivery truck traffic volume and truck routing.</i></b>  |
| <b>#2</b>        | <b><i>Discuss the ability to screen the loading docks from public view.</i></b>   |
| <b>#3</b>        | <b><i>Discuss the impact of requested hours of operation for warehouse/distribution use of 5:00 a.m. to 5:00 p.m.; approval will require an exception to the PUD ordinance.</i></b> |
| <b>#4</b>        | <b><i>Discuss the potential for noise impact from the loading area.</i></b>   |
| <b>#5</b>        | <b><i>Discuss the impact of overnight storage of five (5) delivery vehicles at the loading dock. Approval will require an exception to the PUD ordinance.</i></b>                   |
| <b>#6</b>        | <b><i>Discuss outdoor storage; condition approval on the prohibition of outdoor storage.</i></b>  |
| <b>#7</b>        | <b><i>Discuss recommending for approval the warehouse/distribution use conditioned upon occupancy of a grocery store no later than September 1, 2022.</i></b>                       |
| <b>#8</b>        | <b><i>Discuss recommending for approval the Site Plan Concept with recommendations as noted by staff and conditioned upon the removal of the non-conforming ground sign.</i></b>    |
| <b>#9</b>        | <b><i>Discuss on-going maintenance issues on the site.</i></b>  |

CHAIRMAN GRAY asked the applicant for comments.

Eugene Grzynkowicz, PM Realty Inc. noted after conversations with Ms. Wallrich that he has no objection regarding the street tree plantings in the right-of-way. They have no exceptions on the removal of the pylon sign. He stated they will take it down to the base and leave the electrical service for future use. Regarding the maintenance issue, he stated he understood the requirements. In the predevelopment stage and as they move forward to Phase 2 Pete's Fresh Market has a very high standard of maintenance within their site. He will be monitoring the site very closely.

Stephanie Dremonas, PM Realty Inc. noted regarding the Site Plan, as the site gets tenants, there will be different requirements. Right now, they are placeholdering it for 45,000 sq. ft. If there are tenants that are bigger or smaller, that is good as well. She noted that there will need to be some flexibility in the size of the spaces as they begin to lease.

CHAIRMAN GRAY asked for comments from the Commissioners.

COMMISSIONER ENGEL noted he agrees with staff regarding the screening. This should be taken care of and the trees in the parkway should be replaced to further screen the docks. He has a concern about the parking of the trailers. After 5:00 PM will the referator units on the trailers be running all night. Mr. Grzynkowicz replied they would not.

COMMISSIONER GATTO noted she has a concern that the building will be occupied by retail space and not become just an industrial area. She also agrees with getting more screening so the docks are not visible from Harlem Avenue.

COMMISSIONER WEST noted regarding the Site Plan, in the later phase when there will be construction of 2 smaller buildings on the west side that will include loading docks on the west side of those buildings which will be much closer to residential areas than the other docks on the former Kmart building. There should not be the allowance of the 5:00 AM to 5 PM on those loading docks. She noted that they are about 100-150 ft. from the residential area. She knows this will come with the Phase 2 review, but she wanted to register her concern now. Ms. Wallrich replied that it was an excellent point and stated that PFM has told her that the loading docks for the grocery store will be inside. Mr. Grzynkowicz confirmed that the docks will be enclosed. The trailer will pull up into the dock. He also stated they do not idle the trucks. The overhead door can be shut and the trucks will be concealed. They have this condition in Willowbrook where they are much closer to residential areas and it has gone off without a hitch. Ms. Wallrich replied that per the code, if it is not beyond the 300 feet per code, it will be highly scrutinized.

COMMISSIONER MANI noted as long as they follow the staff's recommendations, everything will be fine.

CHAIRMAN GRAY noted the parkway trees should be replaced to block the view of the docks. He asked Mr. Grzynkowicz how far the docks are at the Willowbrook dock from the homes. Mr. Grzynkowicz replied they are closer than the Tinley Park location. They are probably no more than 60 feet away.

CHAIRMAN GRAY asked if the beeping noise for backup on the trucks was being used at the Willowbrook location. Mr. Grzynkowicz replied the trucks pull up and back in. The beeping noise is a safety issued. Once the trucks are backed in they are shut down and in the colder months the door is shut.

CHAIRMAN GRAY asked about the decibel levels that would be considered at 5:00 a.m. He noted once it is built, it could be tested, and what action would they take if the decibel level was exceeded? Mr. Grzynkowicz replied they have done this exercise at the Willowbrook location with the decibel levels. He did not have the readings at this time, but he will share those with staff. He noted that in the Tinley Park location there is a benefit of several trees and a dense landscape area which will help to lessen the impact from any noise emanating from the docks.. Ms. Wallrich added the condition exists with Aldi and Sam's and other stores in town close to residential homes with no complaints.

CHAIRMAN GRAY noted he agreed with staff's recommendation that the approval for Phase 1 be conditioned on building a grocery store and associated retail in Phase 2. He did not want this to be an industrial area. He also agrees with the high standard of maintenance. He also agrees with staff's recommendation for the traffic to change for Phase 2, so there are no trucks going down a route where customers are walking. Mr. Grzynkowicz replied the truck routing in Phase 1 will be coming off the main

drive from Harlem. In Phase 2 there will be a U-shaped access coming off the southern part of Harlem and utilizing the dock area staging, coming off the back up to the east. This will be in the Phase 2 site plan.

CHAIRMAN GRAY agrees with the extension of the sidewalk. He also asked if trucks arrived at the same time on the return traffic. He questioned the 15 trucks/day and whether that meant 1.2 trucks per hour. Mr. Grzynkovicz replied some trucks will return in the afternoon and they will stage up for the trucks to be reloading for the morning. Worst case scenario will be about 16 trucks more spread out through the day.

Ms. Wallrich noted this has been a smooth review and she appreciates the Pete's team.

The public hearing will be heard by the Plan Commission on September 17, 2020.

### **GOOD OF THE ORDER**

1. Hailstorm's Outdoor Patio and Dreamland Academy Daycare were approved by the Village Board.
2. Fox College had its first reading. There were some residents there regarding the stormwater. We believe everything will go forward for adoption at the next Board meeting. Dan Ritter, Planning Manager noted staff and the Petitioner are working with the residents and there is a meeting set up with the residents, Fox College, and the Village Engineer to clarify the scope of the project and any concerns with the residents. Most of the concerns should be addressed and cleared up before the Village Board meeting.
3. The Cachey project on 171<sup>st</sup> Street had been withdrawn prior to going to Village Board. He was looking for an extension with the property owners on the contract due to Covid-19 struggles and it was not granted. The project has failed at this point; Tom Cachey and staff were not happy about it not proceeding. Hopefully it can be salvaged in the future and in the meantime code enforcement action is being taken due to property maintenance violations.

### **COMMENTS FROM THE PUBLIC**

None

A Motion was made by COMMISSIONER WEST, seconded by COMMISSIONER MANI to adjourn the September 3, 2020 Plan Commission Meeting.

AYE: COMMISSIONERS MANI, ENGEL, GASKILL, GATTO, WEST and CHAIRMAN GRAY.

NAY: None.

CHAIRMAN GRAY declared the Motion approved by voice call.

CHAIRMAN GRAY declared the Plan Commission Meeting adjourned at 7:58 pm.

# PLAN COMMISSION STAFF REPORT

September 17, 2020 – PUBLIC HEARING

## Special Use for a Substantial Deviation of the Park Place Planned Unit Development, Concept Site Plan Approval

16300 S. Harlem Avenue

**REVISIONS TO WORK SHOP STAFF REPORT ARE NOTED IN RED**

### Petitioner

Petros Drimonas, Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner)

### Property Location

16300 S. Harlem Avenue

### PIN

27-24-202-020-0000 &  
27-24-202-021-0000

### Zoning

B-3 PD (General Business and Commercial, Park Place PUD)

### Approvals Sought

Special Use for a Substantial Deviation of the Park Place Planned Unit Development

Concept Site Plan Approval

### Project Planner

Paula J. Wallrich, AICP  
Planning Manager

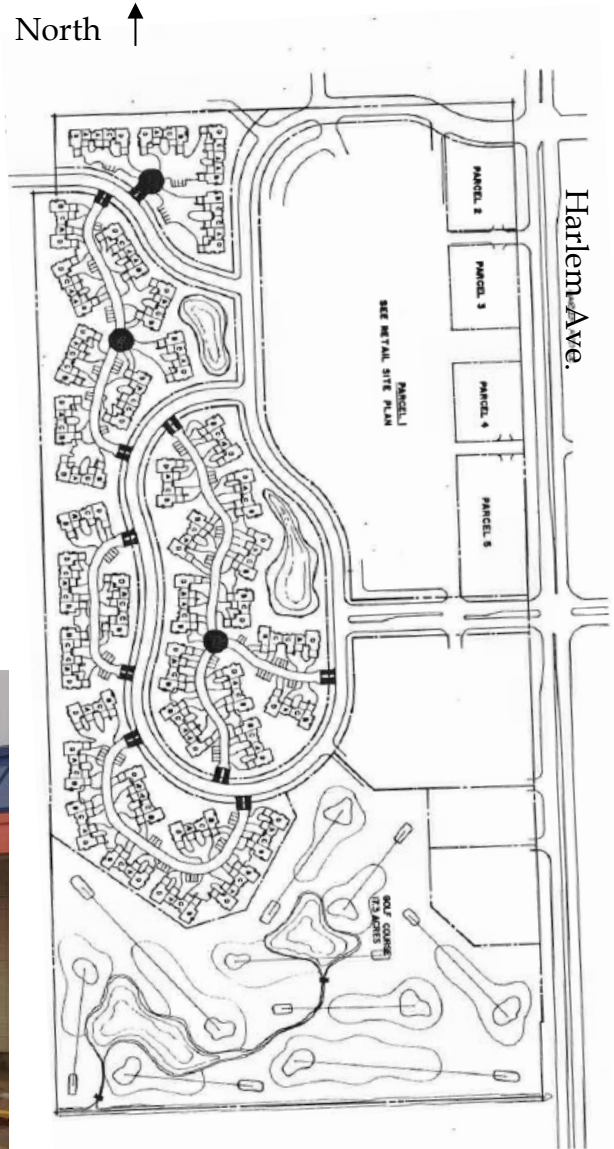
## EXECUTIVE SUMMARY



Pete's Fresh Market (PFM) recently purchased the former K-Mart property at 16300 Harlem Avenue and have presented a conceptual development proposal that includes new construction of a  $\pm 76,000$  sq. ft. grocery store and  $\pm 43,000$  sq. ft. retailer. They also propose to redevelop the former K-Mart store to provide an additional  $\pm 38,000$  sq. ft. of retail space and  $\pm 138,000$  sq. ft. of accessory warehouse/distribution space. The proposal will require an amendment to the existing Park Place Planned Unit Development as a Substantial Deviation. The project will be developed in phases, with Phase 1 comprising the re-use of the former K-Mart building for warehouse/distribution uses. Phase 2 will include the construction of a Pete's Fresh Market grocery store and associated retail. Phase 2 will also include the renovation of the former K-Mart store to include an additional  $\pm 38,000$  sq. ft. of retail and maintain the warehouse/distribution uses as accessory to the grocery store.

## HISTORY

The proposed development for Pete's Fresh Market is located in the Park Place PUD, adopted November 7, 1989 (89-O-045). The original planning for this property included Single Family (R-1) and General Business and Commercial uses (B-3) with the hope of attracting a hotel, restaurant, office and retail uses. Additionally, there were hopes to build a 9-hole golf course as part of the mixed-use PUD. The residential uses were constructed on the west side of the property and in 1993 the Village amended the PUD (93-O-36) to allow for the construction of the Aldi store. A PACE Warehouse Store (a membership buyer's club) was already constructed north of Aldi and is now occupied by Sam's Club. Two years later in 1995, the Village amended the PUD again to provide for the K-Mart store (95-O-001) and outlot; the required stormwater management essentially eliminated any future plans for a golf course. The perimeter fencing, landscape berms and parking lot improvements were all constructed with the development of the K-Mart store.



## EXISTING SITE & PHASING



The proposed development comprises two of the four parcels previously owned by the K-Mart corporation. Parcel 1 (27-24-202-020-000) comprises almost 26 acres and includes the former K-Mart Store with associated parking. Parcel 2 (27-24-202-021-000) is just over an acre in size and is undeveloped (see graphics below.) There are two other parcels under PFM ownership but they are located south and west and are undevelopable (contain floodplain and storm water detention for the site) for a total of 52 acres. The Substantial Deviation will cover both parcel 1 & 2, however the proposed project is primarily planned for Parcel 1.



The project will be developed in phases with the first phase involving the use of the former K-Mart store for warehouse/distribution uses. Due to COVID-19, Pete's Fresh Market has experienced increased demand for warehouse space at their existing warehouse facilities. Currently, their warehouses contain dry goods and some non-grocery related items such as fixtures and spare equipment for their stores. PFM proposes to use the vacant K-Mart store to relocate these items to make room for more grocery related items in their existing warehouse facilities. They have also stated that during this time of COVID-19 they have been presented with purchasing opportunities for items of necessity that have been difficult to keep stocked in their stores. Therefore, they propose to use the Tinley Park property to store some of these products as well.

PFM has committed to beginning construction for Phase 2 by June 1, 2021, therefore no physical alterations are planned for the site or building for Phase 1 beyond continued maintenance and life safety requirements for occupancy of the warehouse at this time.

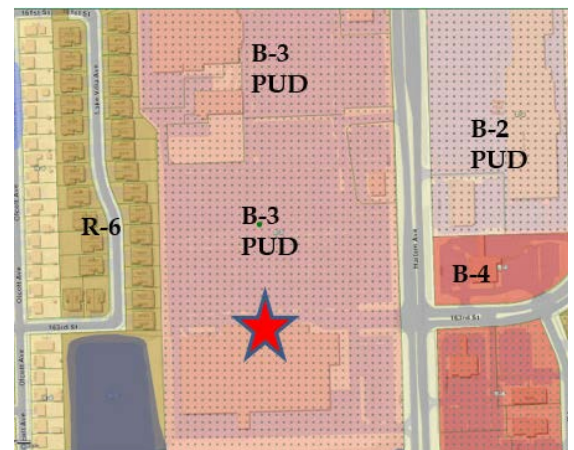
Phase 2 will comprise the construction of a Pete's Fresh Market grocery store ( $\pm$  76,000 sq. ft.) with an additional  $\pm$ 43,000 sq. ft. of associated retail. This phase will also include the renovation of the former K-Mart store to include an additional  $\pm$ 38,000 sq. ft. of retail that will wrap around the northeast corner of the former K-Mart Store. Phase 2 will allow for the continuation of the warehouse/distribution uses as accessory to the grocery store and will involve the construction of five (5) additional loading docks on the west side of the existing loading dock. Discussions with the applicant have resulted in an anticipated schedule for Phase 2 as follows:

|                   |   |
|-------------------|---|
| November 15, 2020 | Phase 2 PUD submittal by PFM              |
| January 21, 2021  | PC # 1 workshop - Pete's PUD Phase 2      |
| February 4, 2021  | PC #2 Public Hearing - Pete's PUD Phase 2 |
| February 15, 2021 | VB First Reading, Pete's PUD Phase 2      |
| March 1, 2021     | VB Adoption, Pete's PUD Phase 2           |
| April 1, 2021     | PFM submit for building permit            |
| May 15, 2021      | Village issue building permit             |
| June 1, 2021      | Groundbreaking                            |
| September 1, 2022 | Grand opening of Pete's Fresh Market      |

## ZONING & NEARBY LAND USES

The subject parcel is located in the Park Place PUD with the underlying zoning of B-3. It is located along Harlem Avenue, one of the Village's major commercial corridors.

The property to the north is also zoned B-3 PUD (Park Center Plaza PUD) and is developed with commercial uses. The property to the west is developed with two-family duplexes, zoned R-6. To the east, across Harlem Avenue, the property is zoned B-4 (Office and Service Business District) and is occupied by a medical office building. Just north of the medical office building is the Tinley Park Plaza retail center and is zoned B-2 PUD. South of the subject property is an unincorporated and undeveloped parcel that has been used for various recreational uses (frisbee golf and dog park) that is operated by the Tinley Park District.



Pete's Fresh Market is seeking several approvals. They are requesting approval of the overall conceptual site plan and final approval of the Special Use for the Substantial Deviation that will provide for the warehouse/distribution use in Phase 1 and the construction of ±119,000 Sq. Ft. of retail use and the renovation of ±38,000 Sq. Ft. in the former K-Mart Store for retail uses in Phase 2. As part of the Substantial Deviation they are requesting several exceptions to the Village Code as noted below in "Open Items".

## SUBSTANTIAL DEVIATION

### Warehouse/Distribution Use:

Warehouse/distribution uses are permitted in the M1 (General Manufacturing) and MU-1 (Mixed Use Duvan Drive) zoning districts. They are not a Permitted or Special Use in the B-3 district, which is the zoning of the subject parcel. Any consideration of permanent, non-permitted uses on this site requires a Special Use for a Substantial Deviation of the PUD. Earlier this year the Village adopted an amendment to the Zoning Ordinance to allow warehouse/distribution uses as a temporary use in a B-3 district with conditions. The Village Board approved a 6-month temporary use permit for a warehouse/distribution use for PFM on May 19, 2020. However, after discussions with staff it was recommended they follow the more permanent solution that aligns with their long-term goal of developing the site for a new grocery store with associated warehouse/distribution uses. They are requesting the use of the former K-Mart store for the storage of dry goods and equipment. They plan to occupy ±138,00 sq. ft. of the existing structure and will not be installing any racking or other permanent improvements as part of Phase 1. They are not planning on making any improvements to the exterior of the building as part of Phase 1; however, with Phase 2 there will be erecting demising walls to provide for the new retail space that will anchor the northeast corner of the building. There will also be façade and site improvements to the existing building with Phase 2.

Warehouse/distribution uses are defined as "Warehouse, Distribution Plants and Wholesale Establishments (are) engaged in the storage, wholesale, or distribution of manufactured products, supplies and equipment, excluding bulk storage of material that are flammable or explosive." The consideration of a warehouse/distribution use in the B-3 district necessarily requires an analysis of potential negative impacts resulting from the use. Traffic volume and pattern, screening, hours of operation, noise, overnight storage of delivery vehicles, and outdoor storage are all issues that require thorough consideration and mitigation tactics. Each issue is addressed below:

Traffic volume/pattern: Currently there are 5 docks on the east side of the dock area at the south side of the store. In Phase 1, PFM will continue to use these docks. In Phase 2 they will construct 5 additional docks on the opposite (west) side of the dock area. PFM anticipates no greater than 15 trips per day in Phase 1. As a point of comparison, deliveries are made at the Aldi and Sam's Club as well as for the former K-Mart store. The number of trips for Phase 2 will be reviewed upon that submittal; staff will recommend a traffic study at that time.

In Phase 1 the proposed route for delivery truck traffic is as depicted in a counter clockwise fashion around the building. Routing will be reassessed with Phase 2 that will eliminate trucks traversing along the front (north) side of the former K-Mart store.





**Open Item #1: Discuss the impact of anticipated delivery truck traffic volume and truck routing. The Commission did not express concern for delivery truck volume and routing for Phase 1. Concern was expressed for Phase 2 and it was noted that a traffic study will be required with Phase 2 with attention given to separating truck traffic from customer traffic.**



Screening of dock area: There is a berm just south of this area with mature landscaping that provides screening for northbound traffic on Harlem Avenue. There is also existing landscaping along Harlem Avenue that provides screening from the public ROW, except for the opening at the right-in/right-out access. (See below). There is a solid



wood fence along the west property line. It is important to note that the residential area does not abut the former K-Mart store.



Northbound traffic on Harlem



The docks are screened from Harlem Avenue view except for the narrow opening for the right-in/right-out access.

**Open Item #2: Discuss the ability to screen the loading docks from public view. The Commission recognized the merits of existing berm and landscaping but felt that the parkway trees along Oak Park Avenue could be planted in Phase 1.**

Hours of operation: PFM is requesting deliveries be allowed between the hours of 5:00 a.m. and 5:00 p.m. These hours conform to their operations and deliveries/receiving of product. In a review of deliveries for the Sam's Club and Aldi's the following information was provided:

|            |   |
|------------|---|
| Sam's Club | 7:00 a.m.- 10:00 p.m.   |
| Aldi       | Liquor: 9:00 a.m.<br>Milk: 6:00 a.m.<br>Food: anytime after store closes<br>(drivers have keys) |

It is important to note that Aldi and Sam's Club border residential uses; the loading dock for PFM is on the south side of the former K-Mart store with a distance of over 500' from the dock to the back of the nearest home. To allow for deliveries between the hours of 5:00 a.m. and 5:00 p.m. will require an exception to the PUD ordinance.

**Staff noted 2 municipal ordinances the regulate loading operations between the hours of 10:00 a.m. and 7:00 p.m. within 300 feet of residential uses. The docks in Phase 1 are 500' from residential uses and therefore will not require an exception as part of Phase 1.**

**Open Item #3: Discuss the impact of requested hours of operation for warehouse/distribution use of 5:00 a.m. to 5:00 p.m. The Commission did not express concern for the requested operational hours as part of Phase 1; however it was noted that it will become an issue that will need to be addressed in Phase 2 when 5 additional docks will be constructed and the new Pete's Fresh Market will have loading areas within 300' of residential areas. Pete's representative noted that the docks for the grocery store will be interior and that loading will be conducted in an enclosed area.**



Noise: Per Section V.9.A. of the Village Zoning Ordinance there are maximum permitted sound levels at property boundaries abutting residential districts. For commercial uses the maximum is level 55 dBA during the hours of 7:00 a.m. and a maximum of 45 dBA during the hours of 10:00 p.m. to 7:00 a.m. These standards will be enforced; however, until the facility is operational the levels cannot be defined.

**Open Item #4: Discuss the potential for noise impact from the loading area. This will be monitored after occupancy.**

Overnight Storage of Delivery Vehicles: PFM is requesting the storage of delivery trucks overnight. These will be parked only at the docks; therefore, there would be a maximum of 5 trucks parked overnight on the south side of the structure as part of Phase 1.

There are two code requirements governing the overnight storage of delivery vehicle: Per Section V.C.7.e.: "Parking of trucks, when accessory to the conduct of a permitted use, shall be limited to vehicles having not more than 1 ½ tons

capacity – except for pick-up or delivery service during normal business hours. Any truck exceeding 1 ½ tons capacity shall be adequately screened from public view when parked.” Per the section discussed above regarding the screening of the dock area, it is staff’s opinion that the dock area is adequately screen from public view.

In addition, per Section III.O., overnight parking of delivery vehicles defined as “Open Storage- Level 1, and over 8,000 pounds in weight” is prohibited in the B-3. PFM is requesting an exception to this requirement and will commit to limiting the overnight storage of delivery vehicles to five (5) parked in the existing dock area. The approval of overnight storage of delivery vehicles will require an exception to the PUD ordinance.

**Open Item #5: Discuss the impact of overnight storage of five (5) delivery vehicles at the loading dock. Approval will require an exception to the PUD ordinance. The Commission did not express concern regarding this request that will be noted as an exception.**

Outdoor storage: Per Section V. of the Zoning Ordinance “All business, service, storage, merchandise display and where permitted, repair and processing, shall be conducted wholly within an enclosed building”. The outdoor storage of “goods, products, materials or light equipment” is defined as “Open Storage- Level 2”, which is prohibited in the B-3 district. Staff has discussed this concern with the PFM and they have stated there will be no outdoor storage related to the warehouse/distribution use. All materials and equipment will be stored inside. Staff recommends making this a condition of approval for the Substantial Deviation.

**Open Item #6 Discuss outdoor storage; conditioned approval on the prohibition of outdoor storage. The Commission agreed with staff’s recommendation to prohibit outdoor storage as a condition of approval.**

Approval of the Special Use for a Substantial Deviation of the Park Place PUD: The Petitioner is requesting approval of a non-permitted use (warehouse/distribution) in the Park Place PUD. Per Section VII.C. 3.b. “ Uses permitted in a Commercial Planned Unit Development shall be as prescribed by the Plan Commission and **may include uses not permitted by the use regulations of the district in which said development is located**; however , the Plan Commission shall find that the uses permitted by such exception are necessary or desirable and are appropriate with respect to the primary purpose of the development.” The primary purpose of the Park Place PUD is for commercial uses and the proposed construction and renovation of retail space is consistent with that purpose. The proposed warehouse/distribution use is considered a subordinate or accessory use to the retail uses. The warehousing of project will support the operations of the grocery store. As such it is important that any approval of a warehouse/distribution use be conditioned upon the construction and operation of a grocery store. This will eliminate the possibility of the warehouse/distribution use operating independent of a grocery store. Due to the timing proposed by PFM there will be a period of time (2 years) that the warehouse/distribution use is operating independently of the primary use (grocery store). Staff recommends any approval of the warehouse/distribution use be conditioned upon the occupancy of a grocery store no later than September 1, 2022.

**Open Item # 7: Discuss recommending for approval the warehouse/distribution use conditioned upon occupancy of a grocery store no later than September 1, 2022. The Commission agreed that the warehouse/distribution use should be accessory to the grocery store and recommended that approval be conditioned upon occupancy of the grocery store by September 1, 2022.**

## CONCEPT SITE PLAN

The Petitioner is requesting approval of the conceptual site plan as presented in the adjacent graphic. Final landscaping, lighting and parking ratios will be reviewed with Phase 2, along with architectural plans. The applicant is not proposing any signage with Phase 1 however there currently exists a non-conforming sign at the 163<sup>rd</sup> entrance that staff is recommending be removed as part of Phase 1. A complete sign package proposal will be required with the submittal for Phase 2 which will allow for a conforming ground sign.

The plan provides for the redesign of the parking field so that the drive aisles are perpendicular to the main retail tenant (Pete's Fresh Market.) Staff supports the reconfiguration of the parking lot; however, the south aisle will need a landscape buffer to avoid conflicts from cars backing into the main drive aisle that runs along the north side of the K-Mart building. (See diagram below.)



A 6' public sidewalk will need to be extended from the 163<sup>rd</sup> Street access to the south property line. Staff discussed the 6' sidewalk and the possibility of installing it with Phase 1. Subsequent to the meeting staff discuss the timing of improvements with the applicant who requested the sidewalk be constructed with Phase 2 along with other concrete work. It was noted that there will be no pedestrian traffic generated with Phase 1 and therefore the importance of the sidewalk is more associated with Phase 2.

Private sidewalks (6') will need to be installed from the public walk east to connect with the internal walkway system. (see diagram below). Crosswalks will need to be installed where pedestrian access crosses drive aisles.



**Open Item # 8: Discuss recommending for approval the Site Plan Concept with recommendations as noted by staff and conditioned upon the removal of the non-conforming ground sign and the installation of a sidewalk along Oak Park Avenue south of 163<sup>rd</sup> Street as part of Phase 2 improvements.**

## MAINTENANCE OF SITE

As stated above, the warehouse will be operating approximately 2 years prior to opening of the new grocery store. (Construction will commence in June 2021). The site has been vacant since 2017 and continues to deteriorate. Code enforcement has been working with the property owner to ensure that the grass and weeds are maintained. There continues to be some issues related to left over sign posts, litter, condition of the fence and areas of the building that

require maintenance and, in some areas, painting, and repair. Since these issues are fluid and will change over time, staff recommends these issues remain under Code Enforcement jurisdiction.

**Open Item #9: Discuss on-going maintenance issues on the site. The Commission concurred with Staff's recommendation to allow Code Enforcement personnel to monitor site maintenance.**

## RECOMMENDATION

The following open items are recommended for discussion at the workshop:

| Open Item | Recommended Action   |
|-----------|--|
| #1        | <b>Discuss the impact of anticipated delivery truck traffic volume and truck routing. The Commission did not express concern for delivery truck volume and routing for Phase 1. Concern was expressed for Phase 2 and it was noted that a traffic study will be required with Phase 2 with attention given to separating truck traffic from customer traffic.</b>  |
| #2        | <b>Discuss the ability to screen the loading docks from public view. The Commission recognized the merits of existing berm and landscaping but felt that the parkway trees along Oak Park Avenue could be planted in Phase 1.</b>  |
| #3        | <b>Discuss the impact of requested hours of operation for warehouse/distribution use of 5:00 a.m. to 5:00 p.m.; approval will require an exception to the PUD ordinance. The Commission did not express concern for the requested operational hours as part of Phase 1; however, it was noted that it will become an issue that will need to be addressed in Phase 2 when 5 additional docks will be constructed and the new Pete's Fresh Market will have loading areas within 300' of residential areas. Pete's representative noted that the docks for the grocery store will be interior and that loading will be conducted in an enclosed area.</b> |
| #4        | <b>Discuss the potential for noise impact from the loading area. This will be monitored after occupancy.</b>   |
| #5        | <b>Discuss the impact of overnight storage of five (5) delivery vehicles at the loading dock. Approval will require an <u>exception</u> to the PUD ordinance. The Commission did not express concern regarding this request that will be noted as an <u>exception</u>.</b>   |
| #6        | <b>Discuss outdoor storage; condition approval on the prohibition of outdoor storage. The Commission agreed with staff's recommendation to prohibit outdoor storage as a <u>condition of approval</u>.</b>   |
| #7        | <b>Discuss recommending for approval the warehouse/distribution use conditioned upon occupancy of a grocery store no later than September 1, 2022. The Commission agreed that the warehouse/distribution use should be accessory to the grocery store and recommended that approval be conditioned upon occupancy of the grocery store by September 1, 2022. The warehouse/distribution use is considered to be accessory to the grocery store and therefore will not be allowed to operate independent of the grocery store.</b>  |
| #8        | <b>Discuss recommending for approval the Site Plan Concept with recommendations as noted by staff and conditioned upon the removal of the non-conforming ground sign and the installation of a sidewalk along Oak Park Avenue south of 163<sup>rd</sup> Street as part of Phase 2 improvements. .</b>  |
| #9        | <b>Discuss on-going maintenance issues on the site. The Commission concurred with Staff's recommendation to allow Code Enforcement personnel to monitor site maintenance.</b>  |

## STANDARDS FOR A SPECIAL USE

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Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. **The Special Use request is for the Substantial Deviation that includes the warehouse/distribution use as Phase 1 with exceptions and conditions and the construction of approximately 157,000 Sq. Ft. of retail in Phase 2 in general conformance with the Concept Plan.**

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; **The Special Use for the warehouse/distribution use is conditioned upon occupancy of the grocery store by September 1, 2022. The warehouse/distribution use is considered to be accessory to the grocery store and therefore will not be allowed to operate independent of the grocery store. The approval of the warehouse/distribution use is conditioned upon additional screening, monitoring of noise levels and on-going property maintenance. The proposed retail uses proposed for Phase 2 are consistent with the original planning for commercial uses in the Park Place PUD.**
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; **There currently existing berming, landscaping and a wood fence that provides screening of the property. The site has previously functioned as a large commercial use with loading activities. There are performance standards to monitor noise levels resulting from loading activities.**
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; **The majority of adjacent property is developed in accordance with current zoning and the Comprehensive Plan. Existing access will direct future development in the area.**
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided; **The subject parcel previously operated as a large retail discount store with deliveries. Site engineering for drainage and access exists and will support the proposed improvements.**
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and **The subject parcel previously operated as a large retail discount store with deliveries with existing access points from Harlem Avenue. No other points of ingress/egress are planned as part of Phase 1.**
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance. **As part of the Substantial Deviation the applicant is requesting the warehouse/distribution use which is not a permitted use in the B-3 district. Possible negative impacts have been reviewed and found not to be a negative impact on surrounding uses. The approval of the prohibited use is conditioned upon occupancy of the grocery store by September 1, 2021, removal of the existing non-conforming sign, no outdoor storage, the**

planting of the required street trees along Harlem Avenue and the construction of a 6' sidewalk along Harlem Avenue as part of Phase 2.. Exceptions to Village Code include the overnight storage of 5 delivery vehicles parked at the loading dock,

- g.* The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole. **The property tax resulting from the project and the proposed 157,000 Sq. Ft. of retail will contribute to the Village's property and real estate tax revenue. .**

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

## STANDARDS FOR SITE PLAN APPROVAL

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Section III.U. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards should be considered to have been met upon review from the Plan Commission.

### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure. **The parking field currently exists (as part of the former K-Mart Store) which is on the side of the K-Mart building. There is little opportunity to design it differently and maintain delivery access.**
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way. **Phase 1 loading is on the south side (rear) of former K-Mart building; Phase 2 will include loading at the rear of the new grocery store which will be enclosed inside the store.**
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways. **Outdoor storage is not permitted.**
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic. **Shared access is provided; safe pedestrian access if designed as part of Phase 2.**
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color. **This will be designed as part of Phase 2.**

## MOTIONS FOR CONSIDERATION

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If the Plan Commission wishes to take action on the Petitioner's requests, the following motions are in the appropriate form. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan.



**Motion 1 (Site Plan):**

*"...make a motion to grant the Petitioner, Petros Drimonas, Pete's Fresh Market, on behalf of 163rd & Harlem LLC (property owner), Concept Site Plan approval in accordance with plans as noted in the List of Submitted Plans within the Staff Report and attached to the Plan Commission Meeting Packet, to redevelop the property located at 16300 Harlem Avenue."*

**Motion 2 (Special Use for a Substantial Deviation of the Park Place PUD with Exceptions and Conditions):**

*"...make a motion to recommend that the Village Board approve a Special Use for a Substantial Deviation of the Park Place PUD to allow warehouse/distribution uses as part of Phase 1 as an accessory use to a grocery store to be occupied by September 1, 2022, and thereafter the warehouse/distribution use is prohibited as a use independent from the grocery store use, in accordance with plans as noted in the List of Submitted Plans within the Staff Report and attached to the Plan Commission Meeting Packet, and adopt Findings related to the Standards for a Special Use as outlined in the staff report for Phase I of property located at 16300 Harlem Avenue with an exception to allow the overnight storage of five (5) delivery vehicles parked at the loading dock, conditioned upon occupancy of the grocery store by September 1, 2022, prohibition of outdoor storage, removal of the non-conforming pole sign and the planting of street trees prior to Phase 1 occupancy."*

**LIST OF REVIEWED PLANS**

| Submitted Sheet Name |  | Prepared By | Date On Sheet |
|----------------------|--|-------------|---------------|
| 1                    | Color Site plan                        | CT          | 3.30.20       |
| 2                    | Color Site plan- Staff recommendations | CT          | 3.30.20       |

CT: Camburas & Theodore, Ltd



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

### VILLAGE OF TINLEY PARK, ILLINOIS PLANNING AND ZONING GENERAL APPLICATION

#### REQUEST INFORMATION

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- Special Use for: \_\_\_\_\_
- Planned Unit Development (PUD)  Concept  Preliminary  Final  Deviation
- Variation  Residential  Commercial for \_\_\_\_\_
- Annexation
- Rezoning (Map Amendment) From \_\_\_\_\_ to \_\_\_\_\_
- Plat (Subdivision, Consolidation, Public Easement)  Preliminary  Final
- Site Plan
- Landscape Change Approval
- Other: \_\_\_\_\_

#### PROJECT & PROPERTY INFORMATION

Project Name: PFM Warehouse Inc.  
 Project Description: Warehouse for Pete's Fresh Market Stores.  
 Project Address: 16300 S. Harlem Ave. Property Index No. (PIN): 27-24-202-020-0000  
 Zoning District: \_\_\_\_\_ Lot Dimensions & Area: 27-24-202-021-0000  
 Estimated Project Cost: \$ 35,088,

#### OWNER OF RECORD INFORMATION

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: 163RD & HARLEM L.L.C. Company: MANAGEMENT COMPANY  
JD REAL ESTATE INC.  
 Street Address: 4333 S. Pulaski Rd. City, State & Zip: CHICAGO, IL 60632  
 E-Mail Address: petro@petesfresh.com Phone Number: [REDACTED]  
Stephanie@pmrealityinc.com

#### APPLICANT INFORMATION

Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: PETROS DRIMONAS Company: MANAGEMENT COMPANY  
JD REAL ESTATE INC.  
 Relation To Project: PROJECT MANAGER-AGENT  
 Street Address: 4333 S. Pulaski Rd City, State & Zip: CHICAGO, IL 60632  
 E-Mail Address: petro@petesfresh.com Phone Number: [REDACTED]  
Stephanie@pmrealityinc.com



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize Petro Drimonas (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and a

Property Owner Signature:



Property Owner Name (Print):

JAMES DRIMONAS owner / President

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is

Property Owner Signature:



Property Owner Name (Print):

JAMES P. DRIMONAS

Applicant Signature:  
(If other than Owner)

P. DRIMONAS

Applicant's Name (Print):

Petro Drimonas

Date:

4-28-2020

**Project Name:** PM Warehouse

**Project Address:** 16300 S. Harlem Tinley Park, IL

**RE:** Narrative for Site Plan

To whom it may concern,

Pete's Market is proposing to reutilize 138,000 square feet of the existing building (Kmart) located at 16300 S. Harlem Tinley Park IL for dry goods warehouse distribution. This request is based on our need for additional warehouse space as our current means has reached capacity.

\*\*There are no changes to the building, site, landscaping, or infrastructure; (All remain existing).

- Parking lot remains as is
- Parking lot lighting remains as is and is in good working order
- Parking lot pot holes have been addressed
- Stop sign has been reinstalled
- PM warehouse employee parking requires 10-20 spaces
- All deliveries are in the rear of the building
- Hours of operation 5 am 5pm.

Eugene Grzynkowicz

PM

773.908.5145

[eugene@pmrealtyinc.com](mailto:eugene@pmrealtyinc.com)

Peter Michael Realty Inc.  
4333 S. Pulaski  
Chicago, IL 60632

**Project Name:** PM Warehouse

**Project Address:** 16300 S. Harlem Tinley Park, IL

**RE:** Narrative for Special Use

To whom it may concern,

Pete's Market is proposing to reutilize 138,000 square feet of the existing building (Kmart) located at 16300 S. Harlem Tinley Park IL for dry goods warehouse distribution. This request is based on our need for additional warehouse space as our current means has reached capacity.

## Building Specifics

### Interior:

- The interior space will remain as is with no changes at this time
- Receiving dock is existing and will be used as is at this time
- Life safety...i.e. Fire Sprinkler, Fire Alarm, HVAC, Lighting has been internally inspected and complies, documents have been submitted, and VOTP inspections to follow-

### Exterior:

- The exterior will remain as is with no changes at this time
- All exterior building lights, and parking lot pole lights are in good working order
- Existing parking spaces are unchanged

### Operations:

- Hours of operation are from 5 am 5 pm.
- PM warehouse will have 10-15 employees
- PM employee parking requires 20 spaces
- All deliveries are in the rear of the building which faces the detention pond

Eugene Grzynkowicz

PM

773.908.5145

[eugene@pmrealtyinc.com](mailto:eugene@pmrealtyinc.com)

Peter Michael Realty Inc.  
4333 S. Pulaski  
Chicago, IL 60632



## VILLAGE OF TINLEY PARK, ILLINOIS SITE PLAN ADDENDUM

### APPLICATION & SUBMITTAL REQUIREMENTS

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review or meeting dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting **Site Plan** approval. This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept plans or ideas prior to making a submittal

- General Application form is complete and is signed by the property owner(s) and applicant (if applicable).
- Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied. All beneficiaries of a property must be disclosed.
- A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on existing conditions, any parking requirements, property changes, landscaping, building design, proposed uses/tenants, public improvements or any other site design details should be described. Any additional requests such as a Special Use or Variation should be indicated in the narrative as well.
- A Plat of Survey of the property that is prepared by a register land surveyor and has all up-to-date structures and property improvements indicated.
- Plans and Surveys including all details listed on the Site Plan checklist (next page).
- Please make the following document submittals:
  - Submit all applications, plans and documents stated above electronically via email/USB drive/ShareFile upload to Community Development Staff (Note: Village email attachment size is limited to 10MB. Please utilize ShareFile if your submission exceeds 10MB).
  - Three (3) paper copy of all plans in size 11" x 17"
  - Three (3) paper copy of full size Arch D (24" x 36") plans (scalable).
- Fee: Site Plan Review (Non-Residential & Multi-Family) \$500 New/First Approval, \$300 Amendment

| Required Plan Submittal Items   | Applicant Submitted      | Village Received         |
|---|--------------------------|--------------------------|
| 1. Site Plan Approval Application   | <input type="checkbox"/> | <input type="checkbox"/> |
| 2. Complete list and contact information for all project staff and design professionals (Architect, Engineer, Landscape Architect, etc.)  | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Plat of Survey, including:<br>a. Existing conditions and dimensions;<br>b. Legal Description;<br>c. Surveyor information; and<br>d. Date of completion.  | <input type="checkbox"/> | <input type="checkbox"/> |
| 4. Site Plan, including:<br>a. Fully-dimensioned property boundaries;<br>b. All building elements and physical improvements;<br>c. Setbacks from all property lines;<br>d. Identification as to whether all elements are "Existing" or "Proposed";<br>e. Dimensioned parking spaces and drive aisles per Section VIII of the Zoning Ordinance;<br>f. Dimensioned sidewalks (within rights-of-way and interior to the site);<br>g. Trash enclosure location and screening/gate materials;<br>h. Loading spaces as required by Section VIII of the Zoning Ordinance;<br>i. Fire hydrant locations as required by the Village Fire Prevention Bureau;<br>j. Lighting standard locations; and<br>k. Ground signs with setbacks noted. | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Zoning Analysis Table<br>a. Showing existing, proposed, and required zoning conditions for all Lot and Bulk Regulations of the Zoning Ordinance, including but not limited to:<br>i. Land area in acres and square feet (exclusive of rights-of-way);<br>ii. Building area in square feet (including a breakdown by use for parking calculation);<br>iii. Setbacks;<br>iv. Floor Area Ratio (FAR);<br>v. Lot coverage;<br>vi. Height of all buildings and structures (see definition of height in Zoning Ordinance);<br>vii. Percentage of greenspace; and<br>viii. Parking spaces (with calculations).  | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Landscape Plan, including:<br>a. Bufferyards (please include a table indicating required and proposed plant units);<br>b. Parking lot landscape islands;<br>c. Screening/fencing locations;<br>d. Berms (if proposed);<br>e. Plant lists, including:<br>i. Latin and common names<br>ii. Number of each planting material to be provided<br>iii. Size at planting  | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Photometric Plan, including:<br>a. Location of light fixtures;<br>b. A cut sheet of light fixtures with indication of cut-offs or shielding; and<br>c. Indicating lighting levels in foot-candles at the following locations:<br>i. Interior of the subject property;<br>ii. At the property lines (.5 foot candles maximum allowed at the property line); and   | <input type="checkbox"/> | <input type="checkbox"/> |

|   |                          |                          |
|---|--------------------------|--------------------------|
| iii. Ten (10) feet beyond the property lines.   |                          |                          |
| <b>8. Floor Plans</b> , including:<br>a. Preliminary floor plan layout of all buildings;<br>b. Labels for the type of use of the area; and<br>c. Labels for square footage of the area.   | <input type="checkbox"/> | <input type="checkbox"/> |
| <b>9. Preliminary Engineering Plans</b> , including but not limited to:<br>a. Drainage and water flow patterns or routes;<br>b. On-site detention;<br>c. Existing and proposed roadway configurations (adjacent public streets and interior roadways/driveways);<br>d. Future roadway or access connections (if necessary); and<br>e. Cross access easement(s).   | <input type="checkbox"/> | <input type="checkbox"/> |
| <b>10. Signage Plans</b> , including:<br>a. Dimensioned color elevations of ground, wall and directional signage<br>b. A diagram showing the location of the proposed signage with setbacks from property lines and internal drive aisles or parking lots; and<br>c. Include description of sign materials and method of illumination.  | <input type="checkbox"/> | <input type="checkbox"/> |
| <b>11. Elevations and Renderings</b><br>a. Building elevations showing all four sides of all buildings.<br>i. Elevations should be fully-dimensioned including height, width, and depth of all major building elements and components, and identify all building materials; and<br>b. Color renderings or 3D model of site.<br>c. Elevation of trash enclosure area with building materials identified (if applicable).   | <input type="checkbox"/> | <input type="checkbox"/> |
| <b>12. Building Material Samples</b> ( <i>may be submitted after initial Staff Review, but prior to placement on a Plan Commission agenda</i> )<br>a. Samples of proposed materials including, but not limited to:<br>i. Wall materials such as bricks, stone, and siding;<br>ii. Roofing;<br>iii. Light fixtures; and<br>iv. Windows, moldings, shutters, and awnings.<br>b. Provide final information on all building materials with vendor, color, and sizes, where relevant, in a table format. | <input type="checkbox"/> | <input type="checkbox"/> |
| <b>13. Preliminary Plat(s)</b> ( <i>if applicable</i> )   | <input type="checkbox"/> | <input type="checkbox"/> |

The above information is intended as an outline of the Submission Requirements for Site Plan Approval and is neither mutually exclusive nor inclusive. The Village's Zoning Ordinance, Landscape Ordinance, Building Codes, and Subdivision Regulations can be found online at the Village website at <http://www.tinleypark.org>. Questions about Site Plan Approval and other Planning processes may be directed to the Planning Department at:

Village of Tinley Park  
 Planning Department  
 16250 S. Oak Park Avenue  
 Tinley Park, IL 60477  
 Phone: (708) 444-5100  
 Email: [planning@tinleypark.org](mailto:planning@tinleypark.org)





## VILLAGE OF TINLEY PARK, ILLINOIS SPECIAL USE ADDENDUM

### APPLICATION & SUBMITTAL REQUIREMENTS

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review and hearing dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting a **Special Use** permit from the terms of the Zoning Ordinance (Section 5-B). This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept plans prior to making a submittal.

General Application form is complete and is signed by the property owner(s) and applicant (if applicable).

Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.

A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on any employee numbers, parking requirements, property changes, existing uses/tenants, hours of operation or any other business operations should be indicated. Any additional requests such as Site Plan approval or a Variation should be indicated in the narrative as well.

A Plat of Survey of the property that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.

Site Plan and/or Interior layout plans that indicate how the property and site will be utilized.

Responses to all Standards for a Special Use on the following page (can be submitted separately along with the narrative, but all standards must be addressed).

\$500 Special Use hearing fee.

## **STANDARDS AND CRITERIA FOR A SPECIAL USE**

Section X.J. of the Village of Tinley Park Zoning Ordinance requires that no Special Use be recommended by the Plan Commission unless the Commission finds that all of the following statements, A-G listed below, are true and supported by facts. Petitioners must respond to and confirm each and every one of the following findings by providing the facts supporting such findings. The statements made on this sheet will be made part of the official public record, will be discussed in detail during the public meetings and will be provided to any interested party requesting a copy. Please provide factual evidence that the proposed Special Use meets the statements below. If additional space is required, you may provide the responses on a separate document or page.

**A. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.**

The building is existing, and was large big box retail with multi point docks. We are not changing the existing footprint, and our operations for deliveries mimics before use.... in the rear of the building. In-fact the building has less impact as there are no retail salable goods, which means little to none vehicular traffic.

**B. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

The proposed use does not compete with any neighboring business, and this building is part of a new development that will only enhance the neighborhood with new life.

**C. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

The proposed warehouse is proprietary to our business, this allows us full control. The existing building position is also a plus as it is to one side of the development with docks facing existing detention pond. This limits noise, and nuances during deliveries.

**D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

The site as it is currently is in compliance, our proposed use does not change or alter existing conditions. The new development will have existing, and new infrastructure improvements.

**E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

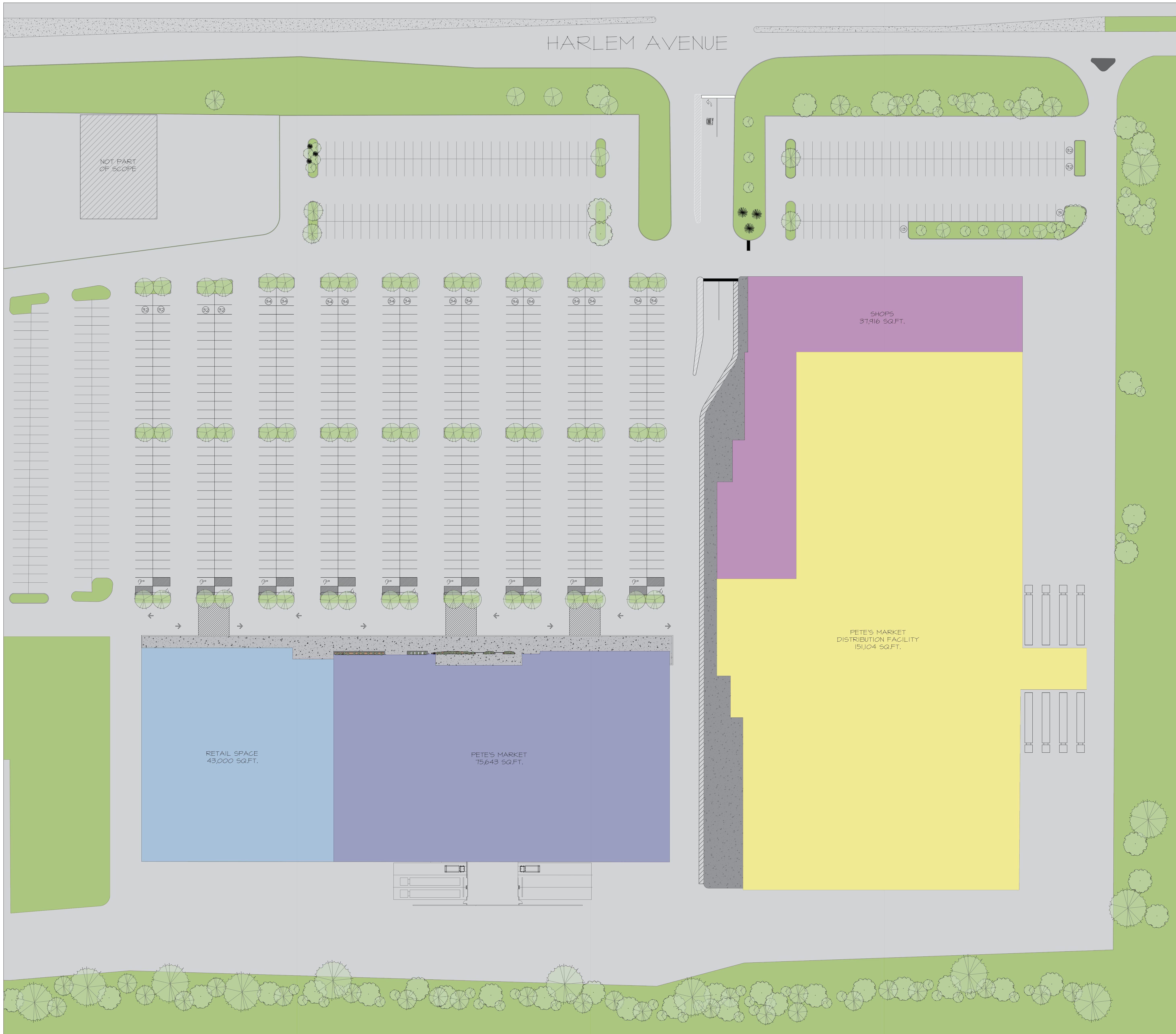
The existing ingress - egress are are fully functional, and will be altered.

**F. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

We will comply.

**G. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.**

The development with Pete's Market brings a resurgence to the area. A valued commodity providing quality products, the best produce, jobs for the community we serve, and increased revenue to the Village of Tinley Park.



1 SITE PLAN  
SCALE: 1" = 40'-0"

ZONING INFORMATION

| MUNICIPALITY: TINLEY PARK<br>EXISTING ZONING: B-3<br>PROPOSED ZONING: EXISTING TO REMAIN,<br>NO CHANGE   |                    |   |   |
|--|--------------------|---|---|
| USE AND AREA   | USE                | AREA  |   |
|  |                    | EXISTING  | PROPOSED  |
| PETE'S MARKET:<br>RETAIL SPACE:<br>SHOPS:<br>DISTRIBUTION FACILITY:  | M<br>M<br>M<br>S-2 | 15,643 SQ.FT.<br>43,000 SQ.FT.<br>37,916 SQ.FT.<br>151,104 SQ.FT. |   |
| PARKING  | PARKING RATIO:     | PROPOSED  | REQUIRED  |
|  |                    |   | REQUIRED  |
| BUSINESS: 1 SPACE/ 50 SQ.FT.<br>WAREHOUSE: 1 SPACE/ 1000 SQ.FT.  | 71:2               |   | DISTRIBUTION FACILITY:<br>151,104 SQ.FT. / 1000 = 151<br>SHOPS:<br>37,916 SQ.FT. / 50 = 253<br>RETAIL:<br>43,000 SQ.FT. / 100 = 281<br>PETE'S MARKET:<br>75,643 SQ.FT. / 50 = 504<br>TOTAL: 1185 SPACES |
| LANDSCAPE<br>5% OF PARKING LOT SHALL BE COVERED OF LANDSCAPE<br>ALL PARKING STALLS SHALL BE 9'-0" X 18'-0"<br>LANDSCAPE ISLANDS:<br>• SHALL BE AT MIN. 200 SQ.FT. AND A MIN. WIDTH OF 10'-0"<br>• EACH ISLAND SHALL INCLUDE (1) TREE AND (1) SHrub PER 200 SQ.FT.<br>• ISLANDS SHALL BE PROVIDED AT THE EACH END OF PARKING ROWS |                    |   |   |

**CT**  
IL FIRM DESIGN #184-003563  
CAMBURAS & THEODORE, LTD.  
ARCHITECTURAL ENGINEERING ARCHITECTS  
244 E. Ontario St. Suite 200  
Chicago, Illinois 60601  
P: 312.467.4400  
F: 312.467.4401  
www.camtho.com

**Petes FRESH MARKET**  
16300 SOUTH HARLEM  
TINLEY PARK, IL 60477

PROJECT NO. 20006291  
DATE: 03.30.2020  
REVISION 1:  
REVISION 2:  
REVISION 3:  
REVISION 4:  
CHECKED: ET  
DRAWN: ET

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# PLAN COMMISSION STAFF REPORT

September 17, 2020 – Workshop/Approval

## Chipotle Commercial Building (Formally Bank of America)

7228 W. 191<sup>st</sup> Street

### Petitioner

Daniel Abdo, on behalf of  
Glazier Development  
Group (Contract  
Purchaser)

### Property Location

7228 W. 191<sup>st</sup> Street

### PIN

19-09-01-401-017-0000

### Zoning

B3 PD (General Business  
& Commercial, Brookside  
Marketplace PUD)

Urban Design Overlay  
District

### Approvals Sought

Site Plan Approval

### Project Planner

Daniel Ritter, AICP  
Senior Planner



## EXECUTIVE SUMMARY

The Petitioner, Daniel Abdo on behalf of Glazier Development Group (Contract Purchaser), is seeking a Site Plan Amendment to make site and façade changes for a two-tenant commercial building at 7228 W 191<sup>st</sup> Street in the B3 PD (General Business and Commercial, Brookside Marketplace PUD) Zoning District.

The proposed Site Plan Amendment allows for the previous Bank of America building to be converted to a multi-tenant commercial building that includes a Chipotle restaurant. In 2019, a Substantial Deviation from the PUD and a Site Plan Amendment were approved to allow Jimmy John's to complete a building addition, façade changes, and to have a drive-thru. The current Chipotle proposal will be similar to that approval, but will not include the building addition. Additionally, the site will have outdoor patios, landscaping additions, and more parking than the previously approved site plan. A drive-up pre-order pick-up window is proposed instead of the typical drive-thru operation. The proposed pick-up window will have a lower traffic demand and quicker wait times than approved with the Jimmy John's proposal and thus no additional approvals are required for the pick-up window.

The adaptive reuse of an existing vacant bank building is likely to create a more economically productive site than another bank. The second tenant has not been identified yet, but the space is being designed and marketed to allow for a second food-service tenant. The proposed site changes are an upgrade to the property by allowing for more successful site circulation and drive-up operations than the previous approval. The landscaping, pedestrian connectivity, and the exterior appearance of the site are also expected to improve with the redevelopment.

## EXISTING SITE & HISTORY

The subject property is located in the Brookside Marketplace shopping center. Brookside Marketplace has a large number of national commercial retail stores (Target, Best Buy, Dick's Sporting Goods, and Kohl's, among others). Additionally, there are a number of commercial out lot buildings throughout the center, which house a mix of smaller retail and service uses. The majority of the shopping center was constructed between 2004 and 2010. The most recent buildings, Panera Bread restaurant and the Pier 1 Imports multi-tenant building, were completed in 2015. The subject property was originally designed for Bank of America, who occupied the building from 2006 until 2015 and has been vacant since that time. The bank site was designed to be easily converted to a restaurant or another commercial use, including requiring increased parking numbers and completion of a larger trash enclosure. However, it was the only outlot with an exterior orientation for its architecture; the rear of the building faces the interior ring road and the front faces Harlem Ave.



2019 Approval

In 2019, the property owner (C82 Commercial LLC) proposed changes that allowed for a building addition and Jimmy John's to have a drive-thru restaurant. The second tenant had not been identified at that time. That approval included a Special use for a Substantial Deviation that allowed for an additional drive-thru to be permitted in the Brookside Marketplace PUD. The site changes were made to allow for proper site circulation and drive-thru operations. Since that time, the Jimmy John's franchise group was sold and the new owner was no longer interested in opening at the subject property. The site plan and façade approvals from 2019 are shown below and even though the work was not completed, they are the approved plans being amended by the Petitioner's request.

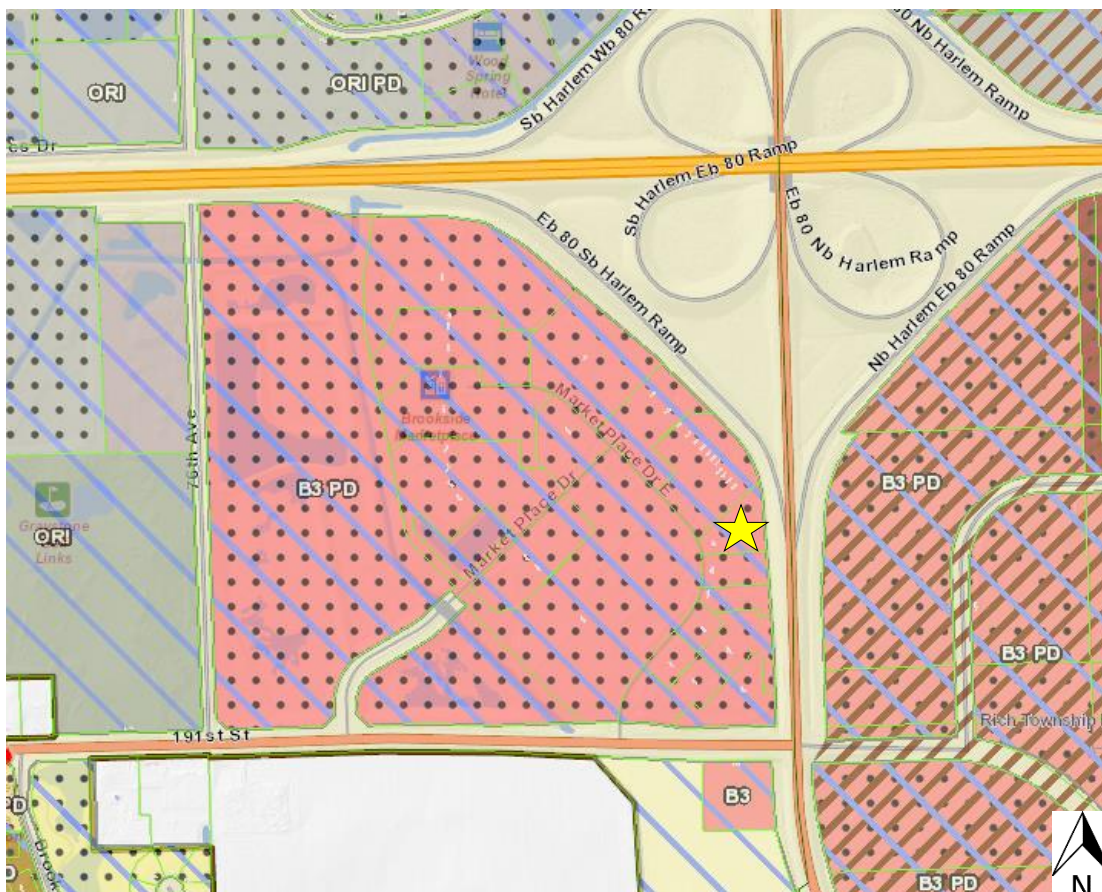


## ZONING & NEARBY LAND USES

The subject property (see the yellow star on the graphic below) is zoned B-3 PD (General Business and Commercial, Brookside Marketplace Planned Unit Development). The Brookside Marketplace shopping center includes many notable businesses such as: Target, Best Buy, Kohl's, Dick's Sporting Goods, Michaels, TGI Fridays, Panera Bread, Taco Bell and Arby's. The property is also located in the Urban Design Overlay District which promotes, among other things, appropriately designed and scaled developments that are friendly to different types of transportation including walking and biking.

The land surrounding Brookside Marketplace is primarily undeveloped land. To the east it is zoned B3 (General Business and Commercial), to the west (former Graystone Golf Course) is zoned ORI (Office and Restricted Industrial) and to the south is a mix of unincorporated farmland zoned R1 (Single-Family Residential) and B3 (General Business and Commercial). The overall area is envisioned to develop with commercial and entertainment-type uses.

Brookside Marketplace shopping center has had new buildings, additions, and façade changes since its original conception. However, changes have continued to stay true to keep the original vision of high-quality design and uniform building architecture with heavy use of masonry and natural color tones. The original vision of the shopping center included a heavy reliance on quality retail and for standalone sit-down restaurants with limited fast food and drive-thru restaurants. The original PUD limited the overall center to two drive-thru restaurants and only allowed additional drive-thru restaurants if the number of standalone sit-down restaurants exceeded a total of three. Currently, there are: Two fast food/drive-thru restaurants: Arby's and Taco Bell and Three standalone sit-down dining restaurants: TGI Fridays, Hot n' Juicy Crab (previously Boston's) and Panera (standalone restaurants are permitted to have an "ancillary drive-thru"). The PUD was amended to allow for a third drive-thru for Jimmy John's in 2019, as outlined in the above section.



## PROPOSED USE

The proposed building is expected to include a Chipotle Mexican Grill with a pre-order pick-up window that uses approximately 2,400 sq. ft. of floor space. They have a high reliance on carryout business but will also offer dine-in and patio seating. The pick-up window and patio seating were always strong preferences of new Chipotle locations; however, the COVID-19 pandemic has made these more of a necessity in any new locations. The pick-up concept is relatively new for Chipotle, but has been successful in other locations due to the added convenience for customers and employees. Chipotle's concept is built on customization of their entrees and thus a traditional drive-thru concept is not appropriate for them due to longer ordering and preparation times. The remaining 2,060 sq. ft. of the building is expected to be a single-tenant space. There is not a contract on that tenant space, but it is being marketed to other food-related tenants, which is why an outdoor patio has been provided there as well. However, a number of different commercial tenants permitted in the B3 zoning district can occupy the space in the future.



## SITE PLAN

The existing site has three points of access. The proposed site plan eliminates one of these which provides a more successful traffic flow through the site and avoids traffic conflicts due to vehicle stacking in the pick-up lane. The new layout provides a more traditional flow around the building and avoids a conflict point near to the pick-up lane.

The previous bank had a drive-up canopy on the south side of the building which will be removed with the Chipotle proposal and replaced with a drive-up window. The result is a site that can function with a traditional two-way access around the entire building, compared to the one-way access previously approved for Jimmy John's that resulted in some concerns with site circulation. The additional space on the south side due to the canopy removal also provides space for additional parking stalls, an expanded dumpster enclosure, and a buffer that separates the pick-up and main drive aisles.



The patio seating is provided at the east side of the building near the entrances. The two patios are proposed in areas that are currently landscaped end islands that have light poles located in them as well. The new patios will require removal of two trees and minor changes to the site lighting. Staff recommends the patio fencing be the same design for both tenants to provide a uniform aesthetic to the building with a maximum height of four feet and open design. The Commission may elect to make this a condition of approval.

Preliminary and final engineering was not supplied with the plans because they are changes to an existing site. However, final engineering approval is required with the building permit to ensure grades and slopes on the site will keep a positive stormwater flow that prevents ponding and also that accessibility requirements are met. Staff recommends approval be conditioned upon final engineering.

***Open Item #1: Review the overall site plan changes, proposed traffic circulation, and proposed patios additions with consistent fence design and final engineering a condition of approval***





## PARKING & DRIVE-THRU STACKING

### Parking

The existing site has 33 parking stalls. The proposed site plan indicates a total of 50 parking stalls for a total increase of 17 stalls on the site. The Petitioner has indicated that each tenant space will have up to 60 seats and five employees working. The Zoning Ordinance requires that there be one stall for every three seats and one stall for each employee. This requires a total of 50 parking stalls, which they have provided on the site to meet the requirements. If the second commercial space is a “retail store and personal service establishment,” the required parking minimum is lower than the restaurant use with a required minimum of 13 stalls (6.5 stalls per 1,000 sq. ft. of floor space).

Typically, there is some concerns that the existing parking supply is tight compared to demand and does not allow for much flexibility. However, due to the ability for different uses and parking demand to change over time in a shopping center and the desire to avoid overbuilding surface parking on every site, there are existing cross-parking and cross-access easements placed over most of the shopping center. This is further promoted by the Urban Design Overlay District’s design standards for large-scale developments like Brookside Marketplace, which requires cross-parking whenever possible to avoid excess asphalt and parking areas typical of shopping areas developed in the 70s, 80s, and 90s. If there is an occasional increase in parking demand, it is expected that the overall shopping center parking field will more than accommodate the increase.

| SITE PARKING ANALYSIS: |                         |  |
|------------------------|-------------------------|--|
| TENANTS                | SEATS / EMPLOYEES       | PARKING REQUIRED / PARKING PROVIDED                |
| CHIPOTLE               | ASSUMED<br>60 SEATS     | 60 SEATS / 3 = 20 STALLS<br>5 EMPLOYEES = 5 STALLS |
|                        | ASSUMED<br>5 EMPLOYEES  | 20 + 5 = 25 REQUIRED STALLS                        |
| TENANT B               | ASSUMED<br>60 SEATS     | 60 SEATS / 3 = 20 STALLS<br>5 EMPLOYEES = 5 STALLS |
|                        | ASSUMED<br>5 EMPLOYEES  | 20 + 5 = 25 REQUIRED STALLS                        |
| TOTAL                  | ASSUMED<br>120 SEATS    | REQUIRED PARKING<br>25 + 25 = 50 REQUIRED STALLS   |
|                        | ASSUMED<br>10 EMPLOYEES | PARKING PROVIDED<br>50 STALLS PROVIDED             |

Pick-up Lane

The proposed pick-up lane will be used by customers who have placed pre-orders via the Chipotle phone app or website. The order will give them a pick-up time and notify them when the order is ready. Chipotle has custom ordering of their food, that is prepared made-to-order. That model does not work well for drive-thru ordering because of the longer ordering and preparation times that lead to more stacking demand and longer wait times. For that reason, Chipotle is not proposing that any orders be placed at the window or in line. Staff recommends this protocol be placed as a condition of approval. Additionally, any change in this protocol will require a traffic analysis. The concept has been marketed as a “Chipotlane” and has been constructed in new locations since 2018. The pre-order pick-up lanes have been successful at increasing customer convenience and total sales. Nearby “Chipotlane” concept locations are in New Lenox, Lockport, Aurora, Elgin, and Peru.

While the lane will not function as a typical drive-thru, there still may be some stacking space needed if multiple vehicles show up at one time. A total stacking of six vehicles with appropriate spacing is provided on the site. The stacking proposed is more than adequate based on their experiences at other similar locations. Total time for the pick-up is usually very short since the food is already made and paid for ahead of time before entering the lane. The total stacking might not be appropriate for many other concepts drive-thru demand, but was deemed appropriate for Jimmy John’s in 2019 based on their traffic and drive-thru analysis completed by Kimley-Horn. The “Chipotlane” concept will have even quicker wait times and lower demand than the Jimmy John proposal, so a new study was not recommended with this proposal. However, conditioning the approval of the special use for the drive-thru will help to ensure any future users of the drive-thru/pick-up lane have appropriate stacking and traffic studies to ensure there are no problems.

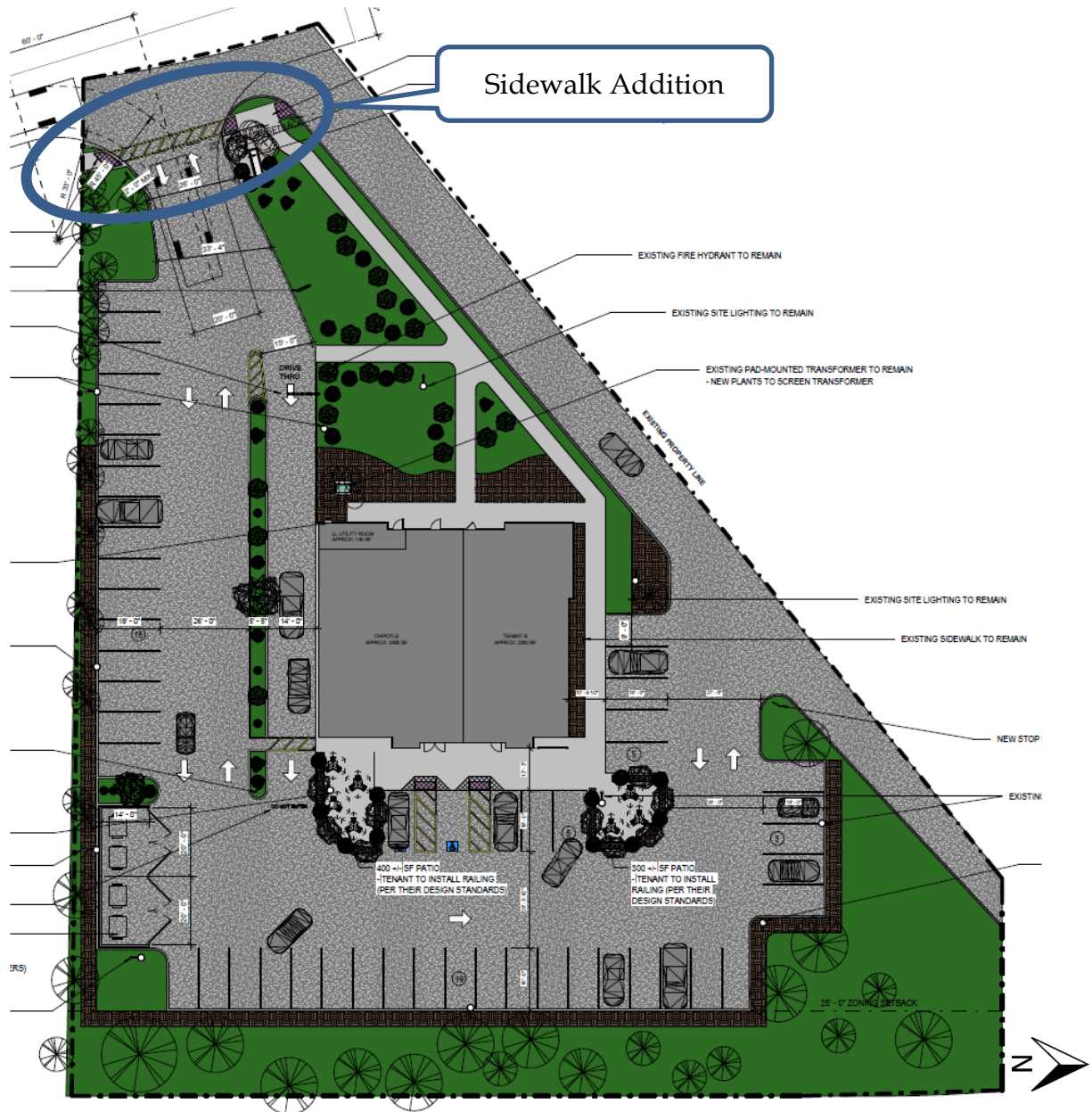
***Open Item #2: Include a condition of approval that any changes in drive up window protocol or future tenants requiring a drive-up window, will require a new traffic/drive-thru analysis to ensure the drive-thru stacking is sufficient prior to issuance of any permits or occupancy.***

**LANDSCAPING, WALKWAYS, AND LIGHTING**

Landscaping will generally be maintained per the original 2006 landscape approval for Bank of America and that any dead or missing landscaping from that plan is replaced. Additional landscaping is being added where the landscape islands are being expanded and to better screen the “back of house” area that faces the interior ring road. Landscaping is also proposed in the buffer between the Chipotle pick-up lane and the main access aisle. The additional landscaping will make the site more appealing to customers entering the site from the west. The proposed landscaping will utilize the same species types that currently exist on the site and used elsewhere in the shopping center. The additional landscaping and curbing will help direct traffic through the site and create a more inviting site.

Landscaping is being removed from the two end islands at the front of the building where the outdoor patios are proposed. The end islands are required per the Landscape Ordinance and thus a Landscape Waiver must be approved with the Site Plan to allow for the change. While this will remove the two parking lot trees, the overall site will have a substantial increase in the total landscaped area.

**Open Item #3: Discuss landscape waiver for end islands to be converted to patios areas and overall proposed Landscape Plan.**



The ring road sidewalk will be completed to the drive aisle (currently ends at Taco Bell lot line). While this sidewalk does not connect to another interior sidewalk it will connect to the drive aisle and avoid the trip hazard created by the unfinished sidewalk. The sidewalk allows for a connection to the rest of the shopping center.

The site lighting requires some minor changes due to the parking lot layout and patio additions. The overall changes are minor movements of existing poles. The lighting levels and proposed fixtures comply with the Village’s lighting standards and the PUDs approved pole specifications.

## ARCHITECTURE

The proposal includes the removal of the bank drive-up canopy. Windows are added where possible along the north, south, and east elevations to give the building a more open/commercial look. The building was designed with reuse of the building for purposes other than a bank in mind, which makes the conversion simpler. The building will keep the existing masonry materials and natural tone colors that are carried throughout the Brookside Marketplace shopping center.

Staff recommended the Petitioner look into changes to the south and west elevations since they are becoming more visible with the change from a bank use to a multi-tenant commercial building. Staff initially recommended placing a canopy along the rear, adding a tower-element on the southwest corner matching the northwest corner, and adding additional windows. However, the Petitioner has noted that changes to the exterior have been minimized to keep the project technically and financially feasible. The current design avoids lengthy and costly construction and approval processes. Additionally, they note that the design of the building is attractive and that it was designed so that it was easily converted to a non-bank use such as their proposal.

Unlike other buildings in the shopping center, the building on the subject property is oriented towards Harlem Avenue and not the interior shopping center ring road. This was done by Bank of America to provide more visibility along Harlem Avenue, but provides a challenge for a commercial building and commercial tenants. Due to this orientation towards Harlem Avenue, the back of the building (west façade) is actually the most visible to customers already in the shopping center. The Petitioner has proposed signage and increased landscaping on the back (west) façade to create a more appealing and inviting site. Directional signage is proposed at decision points to further avoid confusion on the site due to the building orientation.

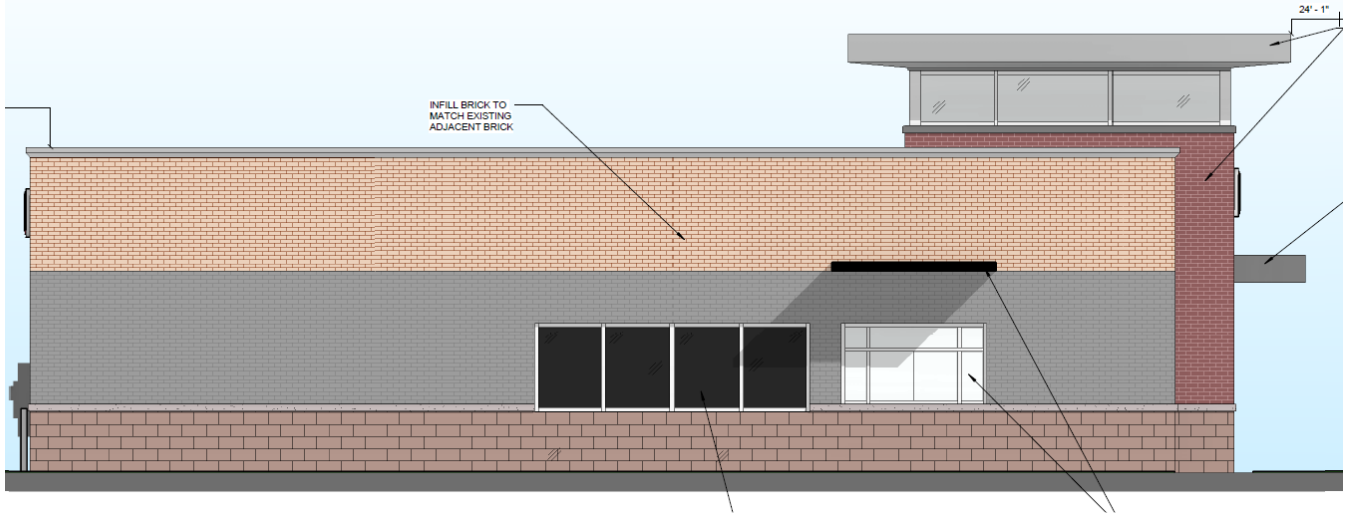
Note that the coloring of the renderings below shows slightly different than what is proposed. The new awning/canopy will be black. The brick color on the building will remain as it exists now and the enclosure will match that color; there will not be grey brick as it appears horizontally in the middle of the building).

### **Open Item #4: Discuss the proposed architecture of the building.**

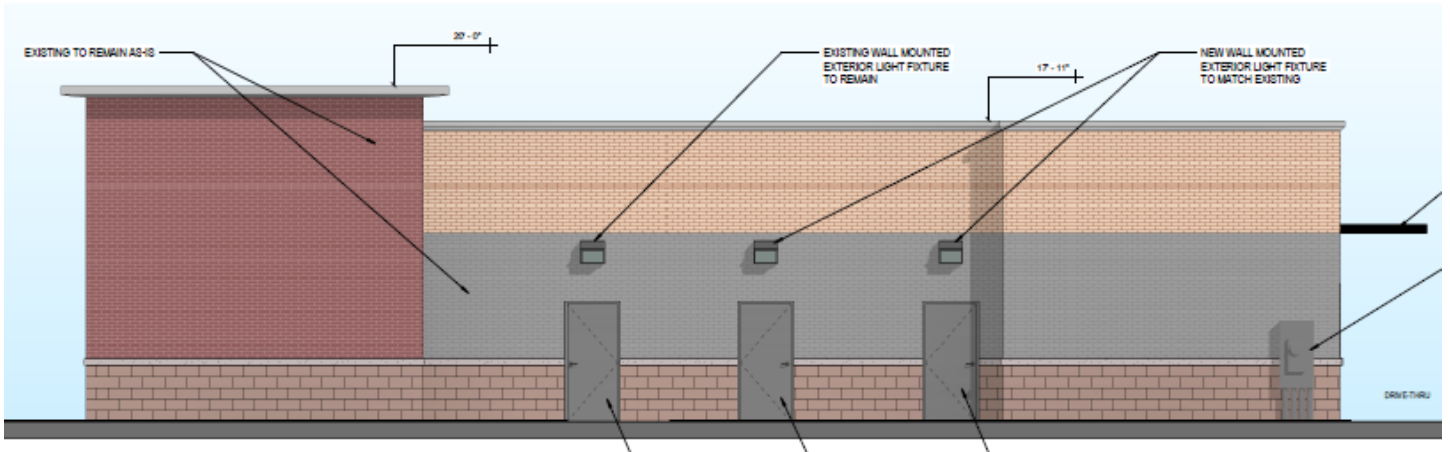
#### **East/Front Elevation:**



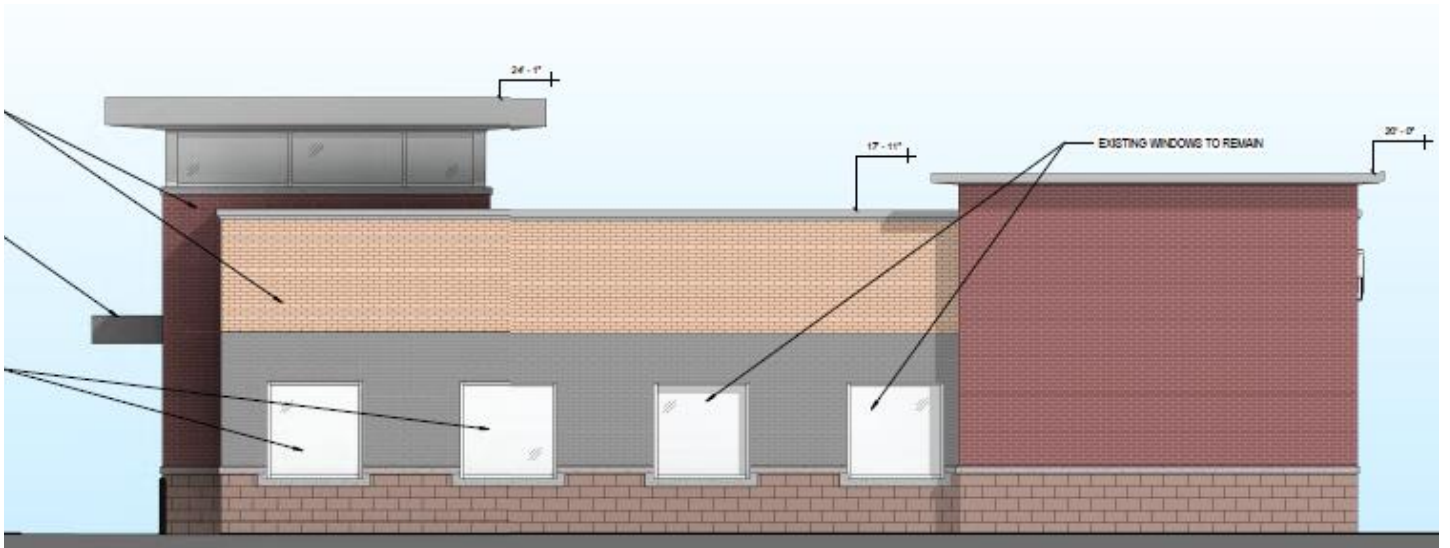
**South/Pick-Up Lane Elevation:**



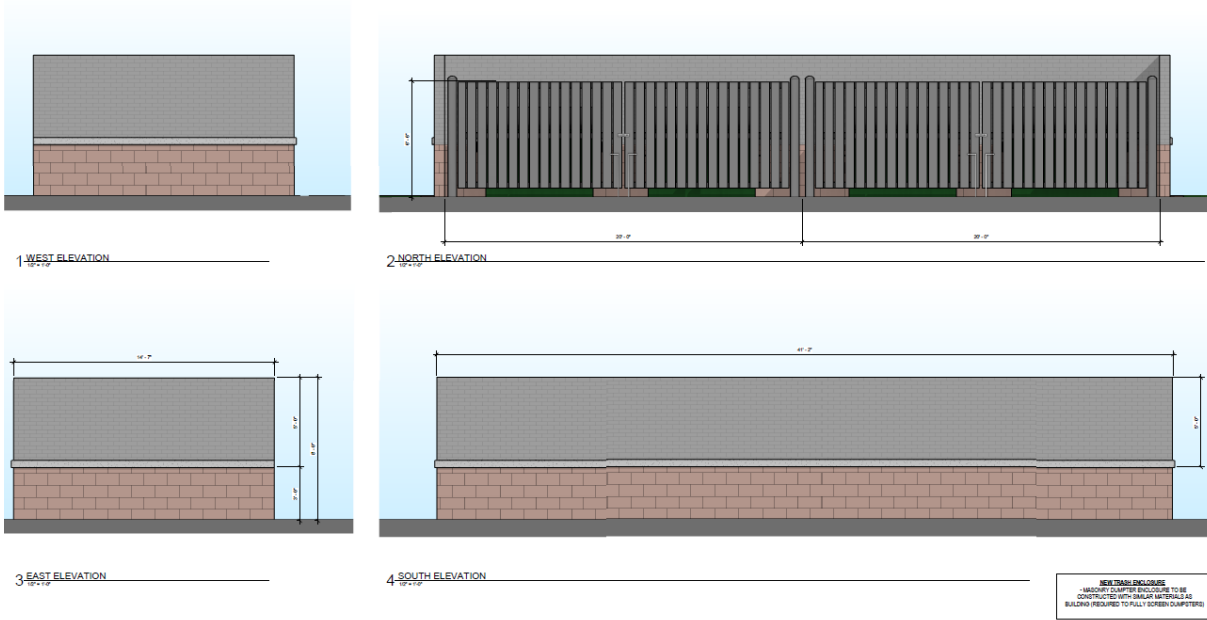
**West/Rear Elevation:**



**North Elevation:**



**Dumpster Enclosure:**



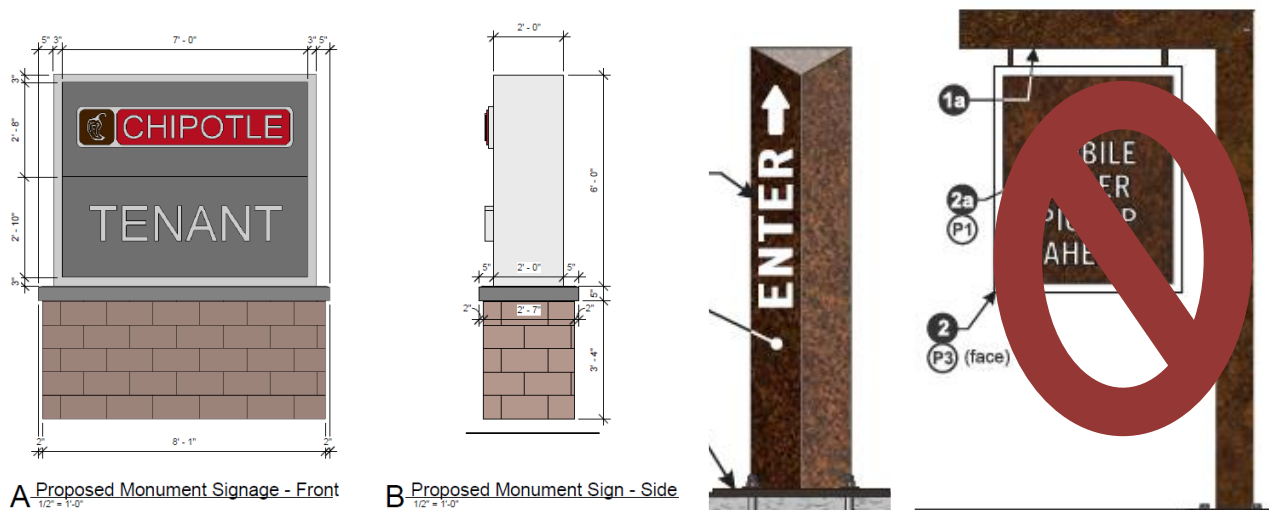
**3D Rendering (Looking Southwest):**



## SIGNAGE

The proposed wall signage locations comply with the Brookside Marketplace PUD sign standards. However, the full dimensions of the wall signs are not indicated on the plans and will be the responsibility of the individual tenants. The proposed ground sign has been provided and complies with the standards as well.

Directional signage locations and designs have been provided and comply with the code requirements, with the exception of the “Mobile Order Pickup Ahead” hanging directional sign which is too tall and large for a directional sign. Staff has recommended that this be revised to meet the requirements of a maximum of four feet in height and six sq. ft. in size. These requirements have been met at all other drive-thru locations in Brookside Marketplace. Staff has suggested a sign similar in style to the “enter” sign with the wording reduced to “Order Pickup”.



**Open Item #5: Discuss “order pick up window’ sign and required revision.**

## SUMMARY OF OPEN ITEMS

Staff identified the following open items for discussion at the workshop:

1. **Review the overall site plan changes, proposed traffic circulation, and proposed patios additions with consistent fence design and final engineering a condition of approval.**
2. **Include a condition of approval that any changes in drive up window protocol or future tenants requiring a drive-up window, will require a new traffic/drive-thru analysis to ensure the drive-thru stacking is sufficient prior to issuance of any permits or occupancy.**
3. **Discuss landscape waiver for end islands to be converted to patios areas and overall proposed Landscape Plan.**
4. **Discuss the proposed architecture of the building.**
5. **Discuss “order pick up window’ sign and required revision.**

## STANDARDS FOR SITE PLAN AND ARCHITECTURAL APPROVALS

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Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific responses are not required but each shall be met and considered for approval.

### Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with “Building Articulation” (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it’s the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of “attention getting” or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. **Roof:** For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. **Building Articulation:** Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as “belly-bands” (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.



- i. Screen Mechanicals: All mechanical devices shall be screened from all public views.
- j. Trash Enclosures: Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

#### Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

## MOTION TO CONSIDER

Due to the limited number of open items and the request being a Site Plan Amendment to an existing site, without a public hearing required, staff has drafted the following motion. If the Plan Commission has any concerns with the approval or plans, direction can be given to the Petitioner and the approval would occur at the October 1, 2020 meeting. If the Plan Commission wishes to make a motion, the following draft motions are written in the affirmative for the Commission's consideration:

***"...make a motion to grant the Petitioner, Daniel Abdo, on behalf of Glazier Development Group (Contract Purchaser), Site Plan Approval for the property located at 7228 W. 191st Street in accordance with the plans submitted and listed herein, subject to the following conditions:***

- 1. If the drive-up aisle is not utilized in the future, a new site plan approval is required prior to occupancy of the space or immediately upon the decommissioning of the drive-up operations.***
- 2. Any changes in drive-up window or parking demand from what was presented requires a new traffic/drive-thru analysis and prior approval to ensure the on-site drive-thru stacking and parking is sufficient.***
- 3. Site Plan Approval is subject to final engineering plan review and approval by the Village Engineer.***
- 4. The pick-up window directional sign shall be revised to comply with the Zoning Code and PUD requirements."***

*[any other conditions the Plan Commission would like to add]*

## LIST OF REVIEWED PLANS

| Submitted Sheet Name                         | Prepared By | Date On Sheet |
|--|-------------|---------------|
| Proposed Site Plan (Revised)                 | Oculus      | 9/4/20        |
| Landscape Site Plan (Revised)                | Oculus      | 9/4/20        |
| Proposed Floor Plan                          | Oculus      | 9/4/20        |
| Proposed Roof Plan                           | Oculus      | 9/4/20        |
| Proposed Elevations (East & South)           | Oculus      | 9/4/20        |
| Proposed Elevation (West & North)            | Oculus      | 9/4/20        |
| Rendering - From Northeast Corner (Revised)  | Oculus      | 9/4/20        |
| Rendering - From Southeast Corner (Revised)  | Oculus      | 9/4/20        |
| Site Lighting Photometric Plan               | Case        | None          |
| Chipotle Direction/Drive-up Signage          | Adcon       | 5/11/20       |
| Patio Railing and Furniture                  | N/A         | N/A           |
| Bank of America 2006 Landscape Plan Approval | Oculus      | 2006          |
| Project Summary/Description                  | Petitioner  | 9/4/20        |

Oculus = Oculus Inc. (Architect)

Case = Case Engineering, Inc.



Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
PLANNING AND ZONING GENERAL APPLICATION

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- Special Use for: Drive Through - Outdoor Patio
- Planned Unit Development (PUD)  Concept  Preliminary  Final  Deviation
- Variation  Residential  Commercial for Retail/Commercial Use
- Annexation
- Rezoning (Map Amendment) From \_\_\_\_\_ to \_\_\_\_\_
- Plat (Subdivision, Consolidation, Public Easement)  Preliminary  Final
- Site Plan
- Landscape Change Approval
- Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: Lot 8 - Brookside Marketplace

Project Description: Redevelopment of former bank building with outdoor seating and a drive through

Project Address: 7228 W. 191st Street Property Index No. (PIN): 1909-01-401-017-0000

Zoning District: B3 PD Lot Dimensions & Area: 60,590 sq.ft. - 1.39 acres

Estimated Project Cost: \$ 575,000

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Blake Purnell Company: C82 Commercial LLC

Street Address: 7015 Snider Plaza, Suite 203 City, State & Zip: Dallas, Texas 75205

E-Mail Address: bpurnell@c82commercial.com Phone Number: [REDACTED]

**APPLICANT INFORMATION**

Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: Daniel Abdo Company: Glazier Development Group

Relation To Project: Managing Partner/Developer

Street Address: 1406 W. Fulton St. - Suite A2 City, State & Zip: Chicago, Illinois 60607

E-Mail Address: dabdo71@aol.com Phone Number: [REDACTED]



VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

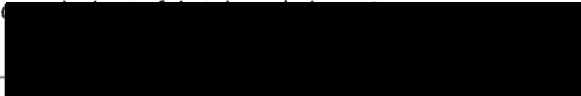
I hereby authorize Dan Abdo/Glazier Dev. Group (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: \_\_\_\_\_  


Property Owner Name (Print): Blake Purnell - C82 Commercial LLC

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct.

Property Owner Signature: \_\_\_\_\_  


Property Owner Name (Print): Blake Purnell - C82 Commercial LLC

Applicant Signature: \_\_\_\_\_  
(If other than Owner) 

Applicant's Name (Print): Daniel Abdo - Glazier Development Group

Date: 8/14/20

**Project Summary/Description**  
**The Former Bank of America**  
**Brookside Marketplace**  
**7228 W. 191<sup>st</sup> St.**

In 2018, C82 Commercial (Building Owner) applied for site plan approval for a prospective restaurant tenant (Jimmy John's). This submittal included a building addition underneath the existing bank canopy. Green space was increased from the formerly approved Bank of America plan. This was to accommodate the building addition. This project was approved but never built as Jimmy John's backed out of the deal.

In 2020, Glazier Development Corporation is proposing to repurpose the vacant bank building. The Glazier Development Corporation is one of the most active retail developers in the market and has developed over 100 projects similar to this project. We also happen to be one of the most active chipotle developers in the market. The use of the existing building has made this project viable. The design of the exiting bank building was well thought out and really lends itself well to a re-use of the existing structure. The goal is to maintain as much of the existing "former approved" elements of the bank which include building facades and landscaping all of which were designed and developed with first class material and of high quality.

Changes from the existing bank and previously approved Jimmy John's project are as follows:

The existing bank canopy will be removed and we will not be adding onto the existing building, instead we will be providing adequate parking for a two restaurant uses. We will also be providing additional landscaping.

At the South property area we added a median to separate the pickup lane from the additional parking lot area & circulation aisle. The Chipotle "pickup" lane will be for pickup only. Changes along the south property line include the addition of parking stalls and the double dumpster as required by Chipotle Corporate. We added a landscape park island as required. The existing landscaping is to remain from the original approved bank plan. The applicant will replace any dead vegetation for like species. One existing parking lot light will be relocated. On the south elevation of the building we are proposing to modify the façade/elevation to accommodate the new Chipotle required "pickup" window. The former bank window is to remain, however, we will modify with black spandrel glass. The existing bank canopy will be removed and we will fill in the demo area with an "as close to" match of the existing finishes on the façade matching adjacent areas for a flush smooth transition.

At the West property area the entry is similar to the Jimmy John's proposed design. A monument sign in the same location as the former site plan will be added and the size and design will be per the overall developments Operating Easement Agreement. We will in-fill the former parking aisle as required on the Jimmy John's submittal. Changes include sidewalk connectivity and landscape layout. The existing parking lot lights will remain. The west building façade/ elevation will be modified to accommodate the two (2) new rear doors to provide three doors – one for the building mechanical room and the other for the two tenants.

At the North property line the sidewalk, parking stalls, parking lot lighting & northwest landscape bed is to remain. The only change is the former northeast landscape bed is now changing to a patio for a future retail/food use. We have added railings, tables, chairs and new landscaping. The façade elevations will remain the same.

At the North property area we show 5 parking stalls along north property line. This is a change from the former bank plan and Jimmy John's plan which maintained 4 of the existing parking stalls. The existing landscape is to remain from the original approved bank plan. The applicant will replace any dead vegetation with like species. One existing parking lot light is to be relocated.

At the Eastern property line, we indicate 19 parking stalls versus the 20 parking stalls shown on former site plans. The dumpster exists today on this property line. We proposed it moving to the southeast corner of site along the south property line. The existing landscape is to remain from the original approved bank plan. Applicant will replace any dead vegetation for like species. One existing parking lot light is to be relocated. The southeast landscape bed is also changing to a patio to accommodate Chipotle. We have added railings, tables, chairs and new landscaping. One existing parking lot light will be relocated as well.

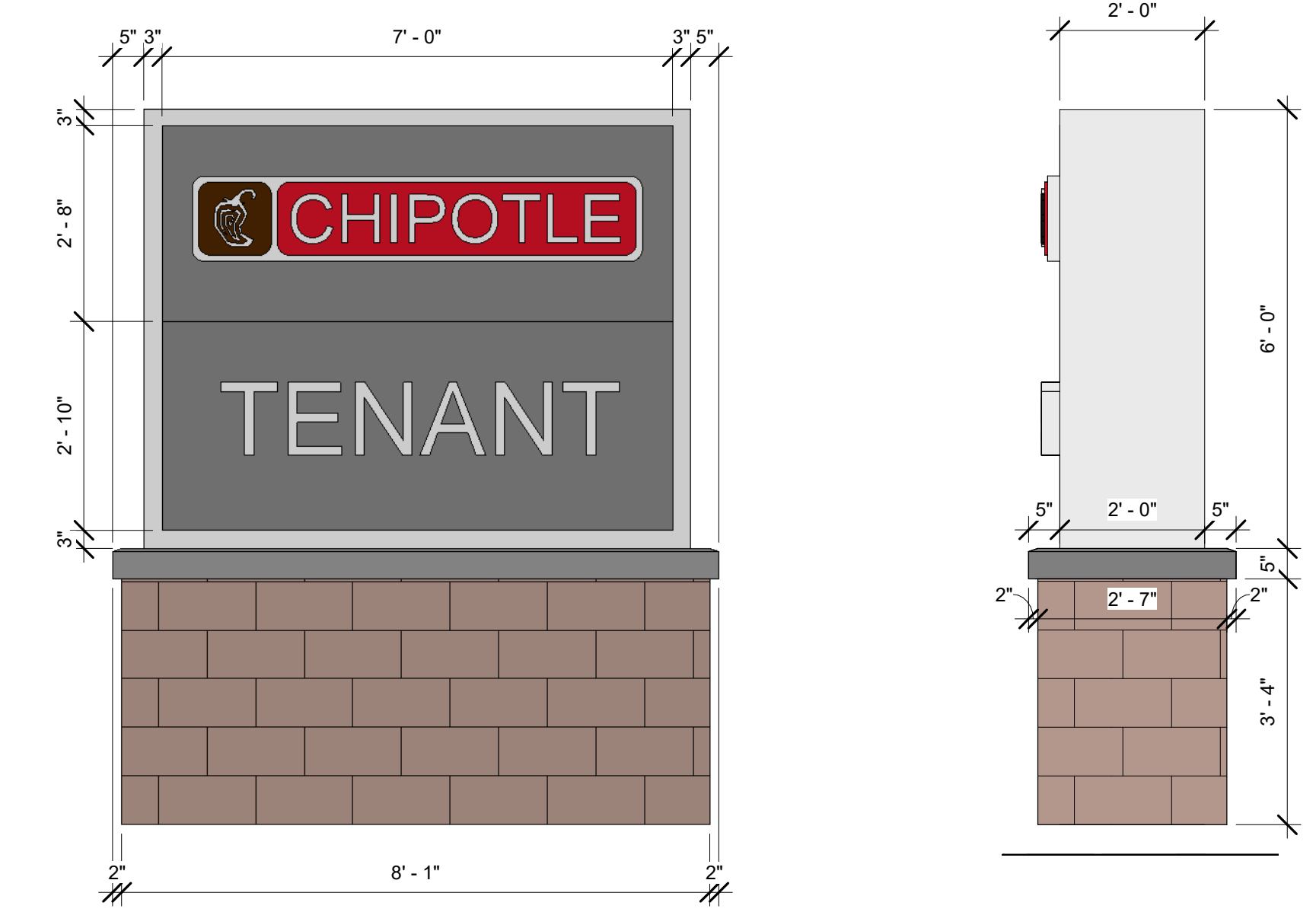
I would also like to note that we have provided ample parking for two fast casual food uses. Chipotle being the south tenant and a future food use for the north tenant B. A parking analysis has been provided on the site plan in the attached material.

We hope that you look favorably on our proposal. Once approved, we will prepare permit plans and submit for permit.



**ZONING ANALYSIS TABLE**

|   |
|---|
| <b>BUILDING AREA:</b> APPROXIMATELY 4,600 SQUARE FEET                     |
| <b>LAND AREA:</b> 60,590 SQUARE FEET                                      |
| <b>OVERALL BUILDING HEIGHT:</b> 24' - 1"                                  |
| <b>PARKING TOTALS:</b> 48 STANDARD SPACES, 2 ADA SPACES (50 TOTAL SPACES) |



**A Proposed Monument Signage - Front** 1/2" = 1'-0"  
**B Proposed Monument Sign - Side** 1/2" = 1'-0"

**SITE PARKING ANALYSIS:**

| TENANTS  | SEATS / EMPLOYEES                         | PARKING REQUIRED / PARKING PROVIDED  |
|----------|---|--|
| CHIPOTLE | ASSUMED 60 SEATS                          | 60 SEATS / 3 = 20 STALLS<br>5 EMPLOYEES = 5 STALLS   |
|          | ASSUMED 5 EMPLOYEES                       | 20 + 5 = 25 REQUIRED STALLS  |
| TENANT B | ASSUMED 60 SEATS                          | 60 SEATS / 3 = 20 STALLS<br>5 EMPLOYEES = 5 STALLS   |
|          | ASSUMED 5 EMPLOYEES                       | 20 + 5 = 25 REQUIRED STALLS  |
| TOTAL    | ASSUMED 120 SEATS<br>ASSUMED 10 EMPLOYEES | REQUIRED PARKING<br>25 + 25 = 50 REQUIRED STALLS<br>PARKING PROVIDED<br>50 STALLS PROVIDED |

\* SEAT AND EMPLOYEE COUNT ARE ASSUMED  
 TENANT TO PROVIDE COUNT TO VILLAGE



**PLANT LEGEND**

| QUANTITY | PLANT TYPE                 | PLANT TYPE | QTY. NEW |
|----------|----------------------------|------------|----------|
|          | <b>ORNAMENTAL TREES</b>    |            |          |
| TS       | STERLING SILVER LUNDEN     |            | 2        |
|          | <b>ORNAMENTAL TREES</b>    |            |          |
| CS       | EASTERN REDBUD             |            | 3        |
| CM       | CHERRY DOGWOOD             |            | 3        |
|          | <b>SHRUBS</b>              |            |          |
| GFS      | GOLD FLAME SPIRAEA         |            | 20       |
| CC2      | ARCTIC SUN DOGWOOD         |            | 19       |
| WC       | WINTERCREEPER              |            | 10       |
| JS       | SPARTAN JUNIPER            |            | 5        |
| ST2      | BIRCHLEAF SPIREA           |            | 3        |
|          | <b>GRASSES</b>             |            |          |
| CA       | OVERDAM FEATHER REED GRASS |            | 9        |
|          | <b>PERENNIALS</b>          |            |          |
| HR       | DAYLILY                    |            | 9        |
| SH       | PRAIRIE DROPSEED           |            | 10       |
| HO       | CORAL BELLS                |            | 5        |

NOTE: SIZES TO MATCH EXISTING PLANT MATERIALS

NOTE: NEW PLANTING TO MATCH EXISTING APPROVED PLANTING

NOTE: EXISTING APPROVED PLANTINGS TO REMAIN, APPLICANT TO REPLACE DEAD VEGETATION WITH NEW PER "BANK OF AMERICA" APPROVED PLAN

NOTE: EXISTING PLANTINGS TO BE REMOVED AT ENTRY, PATIOS TO REPLACE PARKING ISLANDS PER LAYOUT AND NEW PLANTINGS TO BE PLACED.

**LANDSCAPE NOTES**

1. ALL EXISTING SITE CONDITIONS TO BE VERIFIED. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
2. ALL UNDERGROUND UTILITIES SHALL BE LOCATED. ARCHITECT TO BE NOTIFIED OF ANY CONFLICTS OF THE DESIGN.
3. CONTRACTOR TO BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. MINIMUM SLOPE OF 2% AT PERIMETER OF ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED USING AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD FESCUE UNLESS NOTED OTHERWISE.

**MAINTENANCE NOTES**

1. THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
2. ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES INCLUDING, BUT NOT LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING AND WEEDING.
3. ALL LANDSCAPE SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS AND OTHER MATERIALS NOT INDICATED ON THIS PLAN.
4. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
5. ALL PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH A PLANT MATERIAL OF EQUAL OR BETTER VALUE.

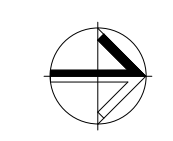
**GENERAL LAWN NOTES**

1. CONTOURS SHALL ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDING. UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER GRADE BREAKS SHALL BE PROVIDED. ADJUST CONTOURS TO PREVENT STANDING WATER.
2. 2 INCHES OF TOPSOIL SHALL BE PROVIDED AT AREAS TO RECEIVE LAWN.
3. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM LAND SOIL, FREE OF LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, AND CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
4. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.



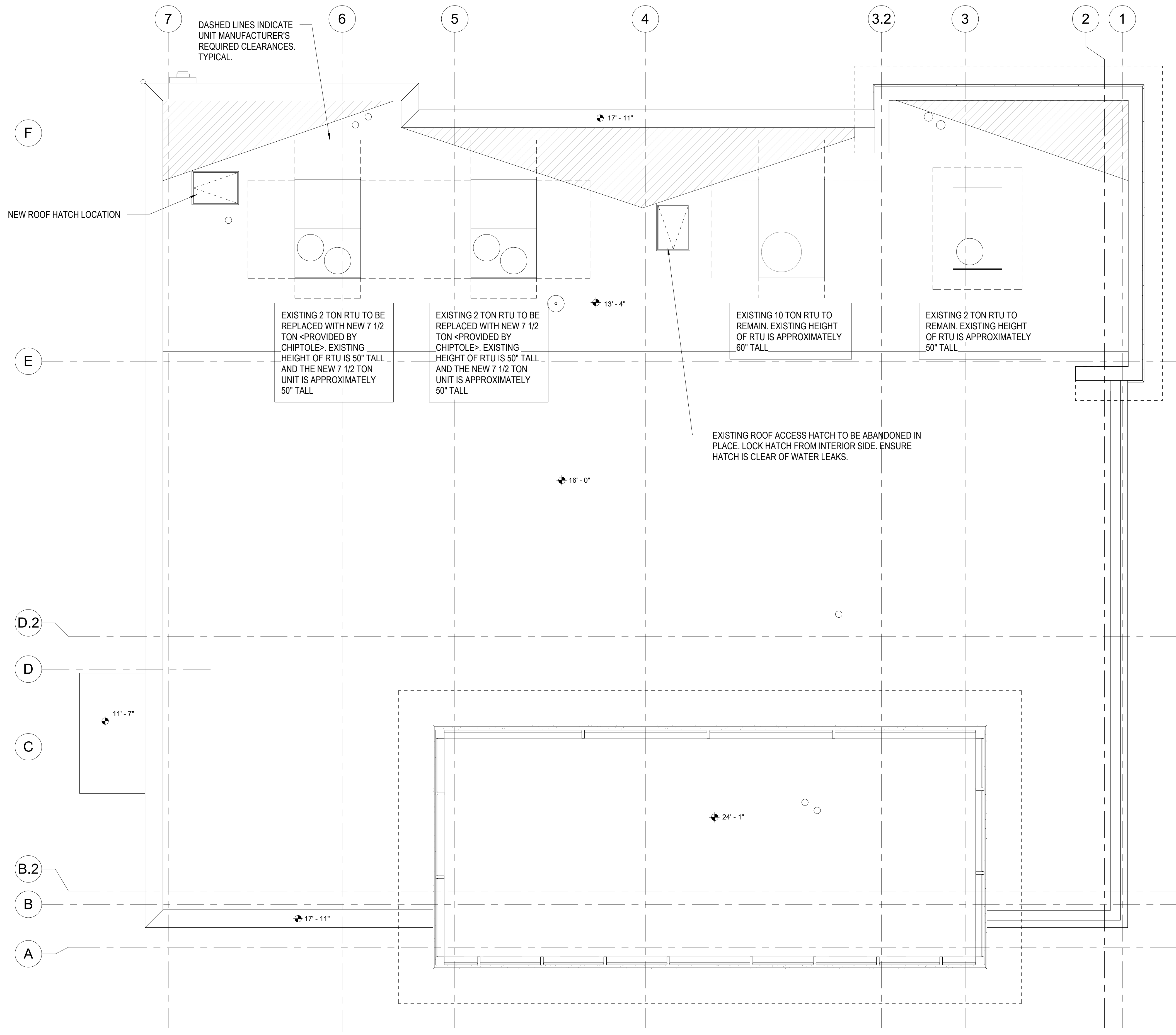


08



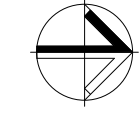
| PLAN AREA       | AREA (S.F.) |
|-----------------|-------------|
| LL UTILITY ROOM | 140         |
| CHIPOTLE        | 2400        |
| TENANT B        | 2060        |
| TOTAL           | 4600        |





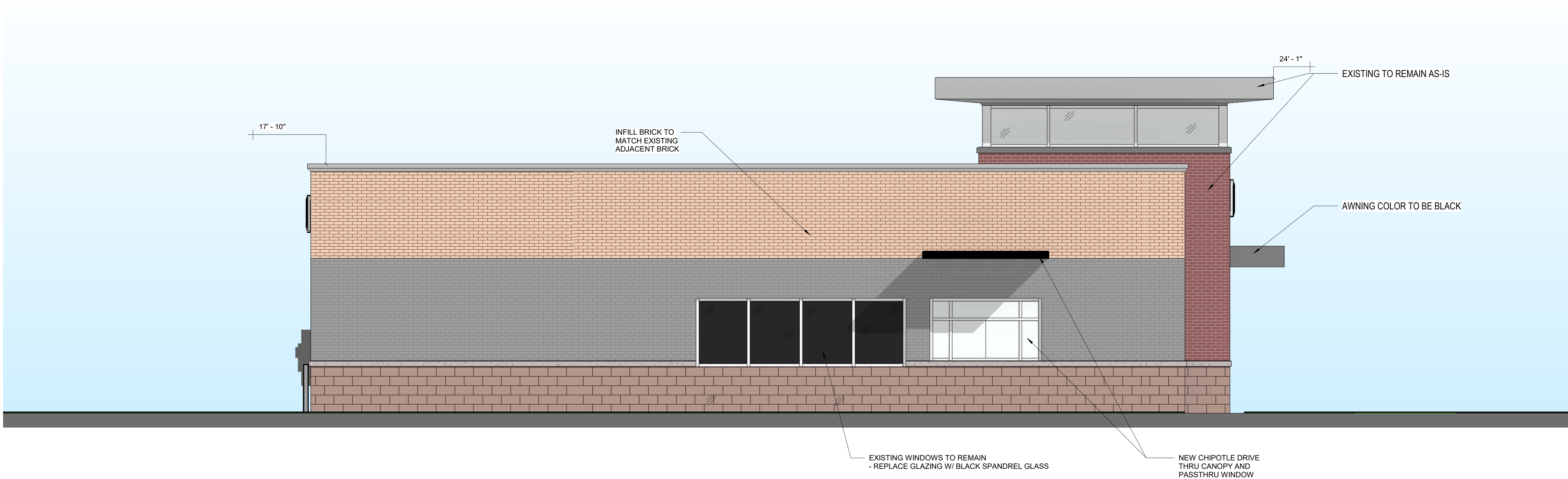
- SHEET NOTES**
1. EXISTING ROOF TO REMAIN. GC TO NOTIFY OWNER AND ARCHITECT IF PATCH AND REPAIR IS NEEDED.
  2. GC TO PROVIDE AND INSTALL NEW ROOF HATCH PER DRAWINGS.
  3. ROOF CONTRACTOR TO BE APPROVED BY ROOF MANUFACTURER AS TO NOT VOID EXISTING WARRANTY.

1 ROOF PLAN  
1/4" = 1'-0"





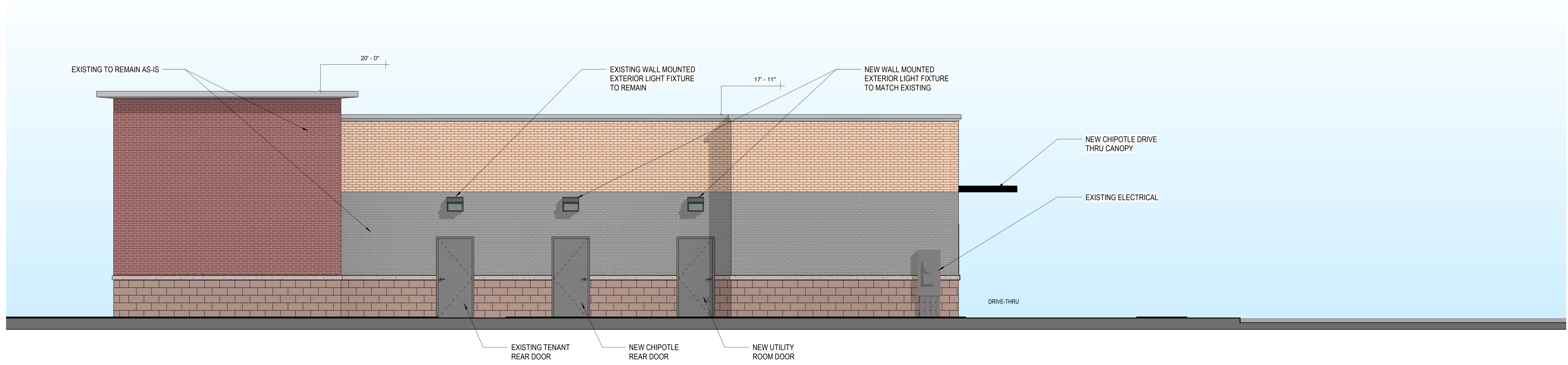
1 EAST ELEVATION  
1/4" = 1'-0"



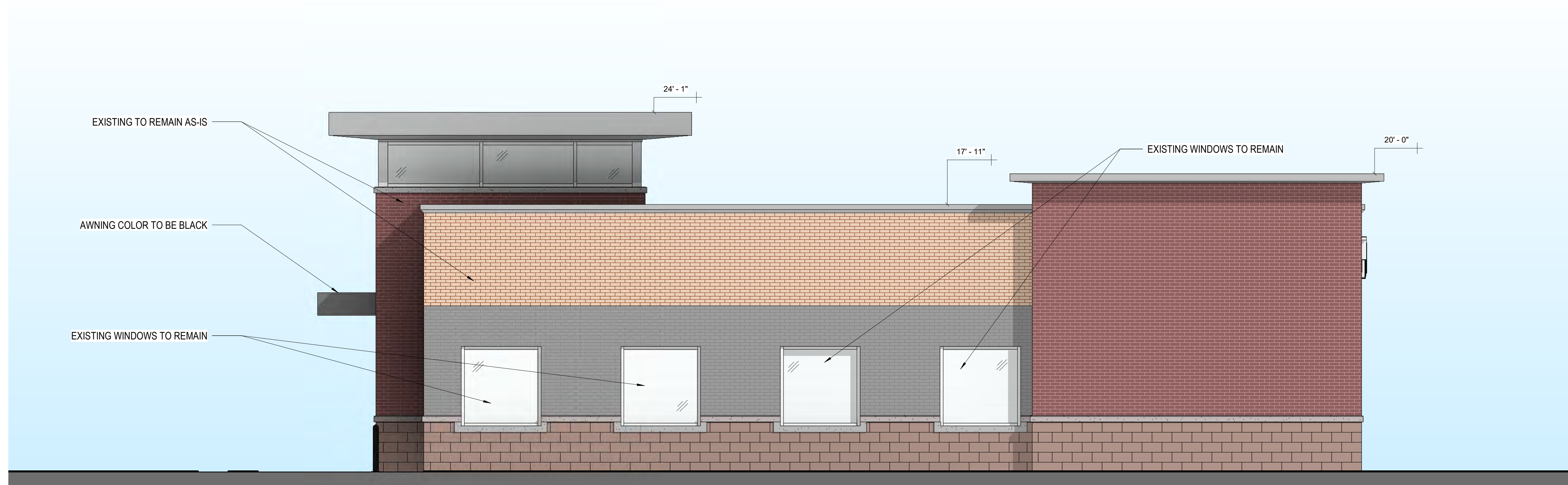
2 SOUTH ELEVATION  
1/4" = 1'-0"

ENTIRE BUILDING EXTERIOR MATERIALS TABLE

| MATERIAL        | AREA      | PERCENTAGE |
|-----------------|-----------|------------|
| SPLIT FACED CMU | 693 S.F.  | 15%        |
| BRICK VENEER    | 3208 S.F. | 71%        |
| GLAZING         | 650 S.F.  | 14%        |



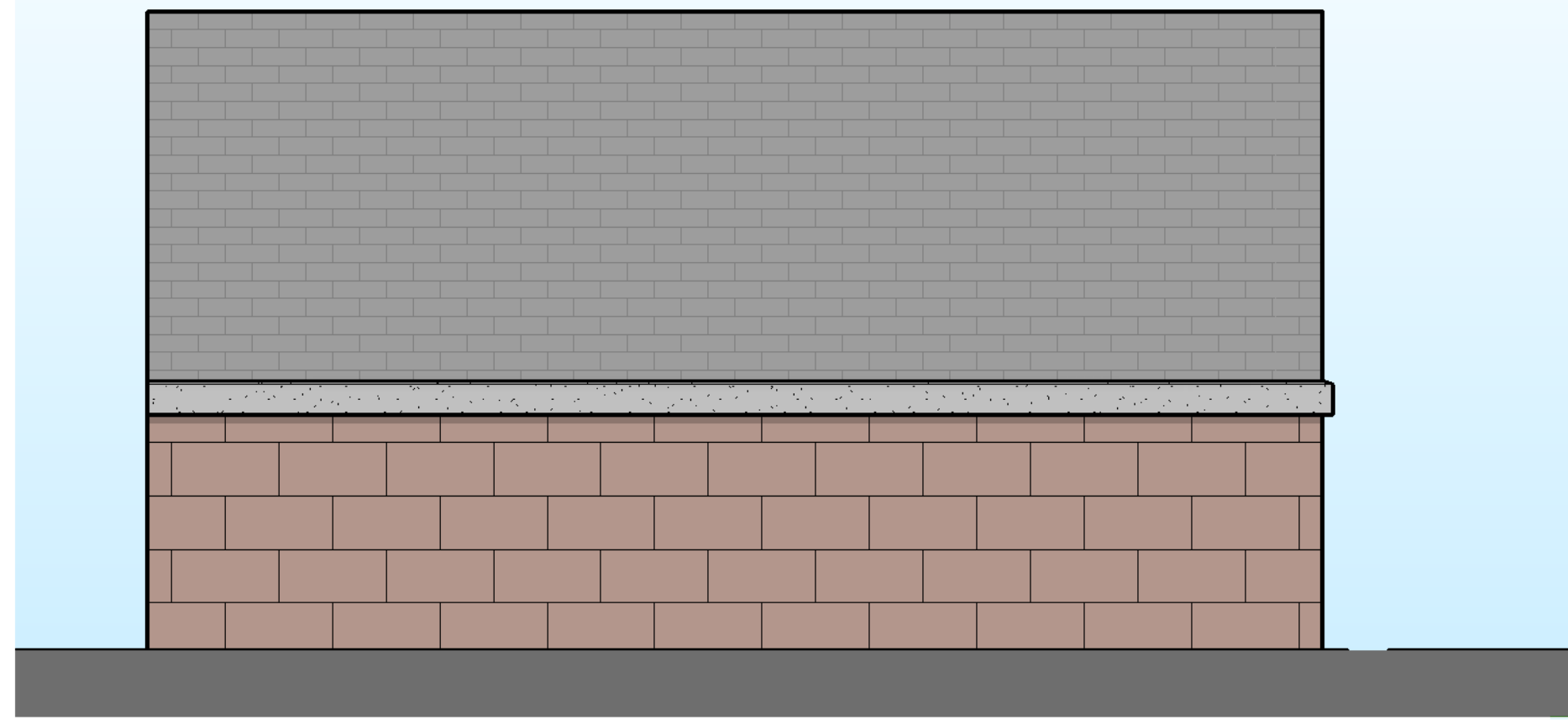
1 WEST ELEVATION  
1/4" = 1'-0"



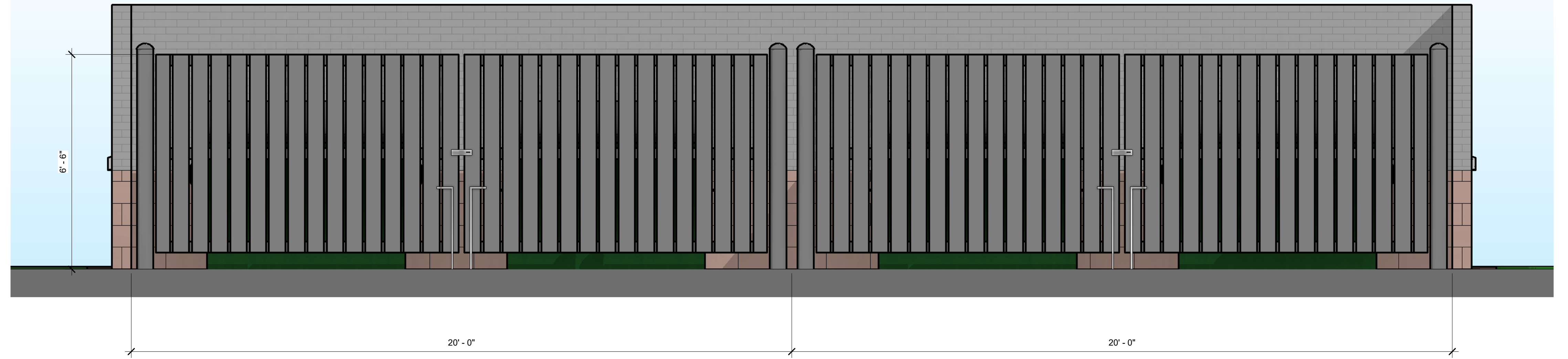
2 NORTH ELEVATION  
1/4" = 1'-0"

ENTIRE BUILDING EXTERIOR MATERIALS TABLE

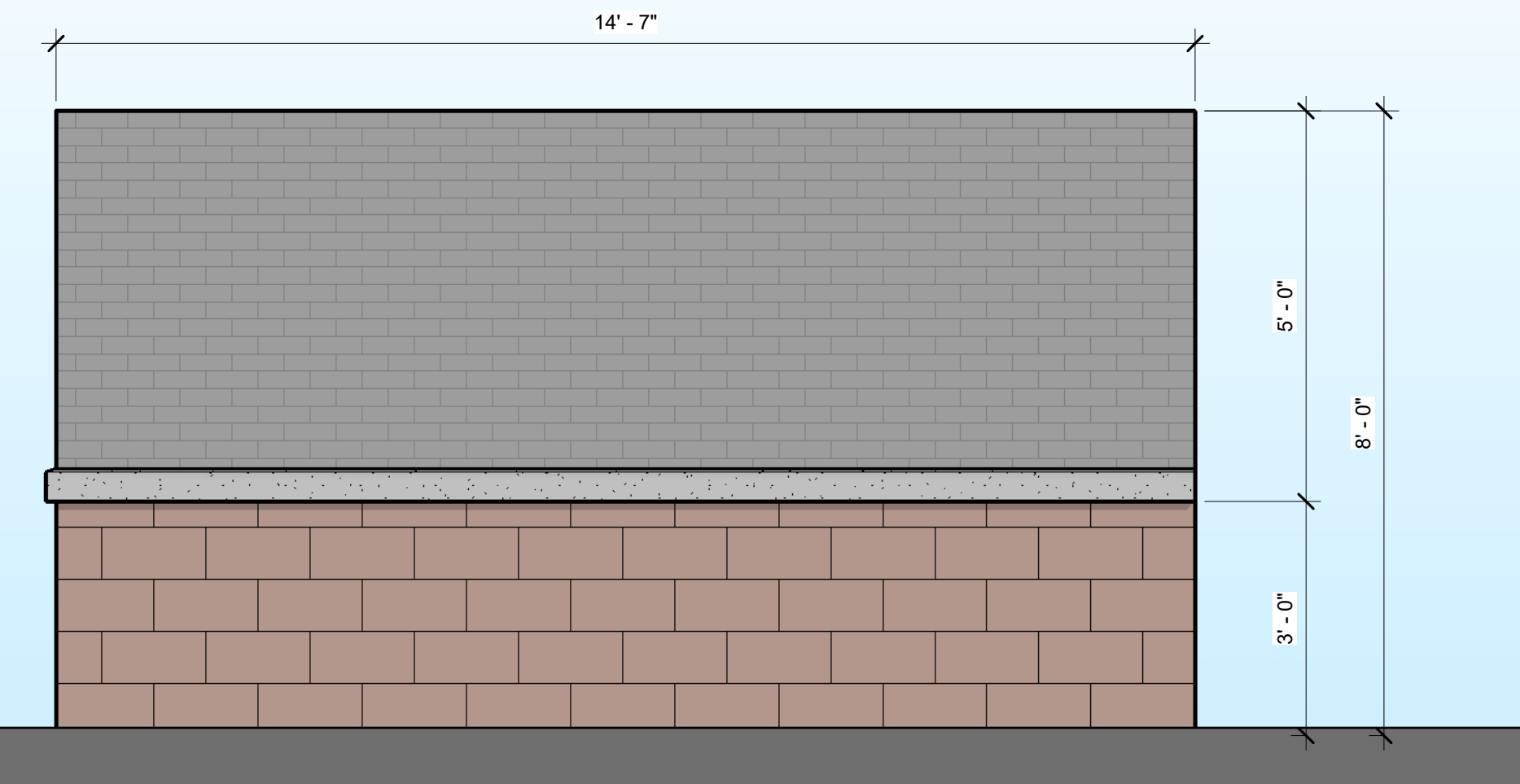
| MATERIAL        | AREA      | PERCENTAGE |
|-----------------|-----------|------------|
| SPLIT FACED CMU | 693 S.F.  | 15%        |
| BRICK VENEER    | 3208 S.F. | 71%        |
| GLAZING         | 650 S.F.  | 14%        |



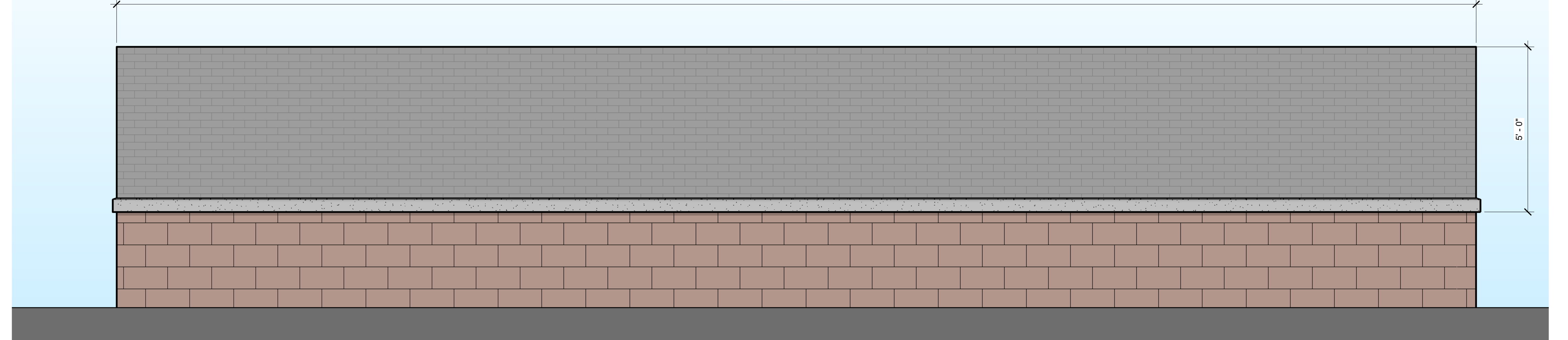
1 WEST ELEVATION  
1/2" = 1'-0"



2 NORTH ELEVATION  
1/2" = 1'-0"



3 EAST ELEVATION  
1/2" = 1'-0"



4 SOUTH ELEVATION  
1/2" = 1'-0"

**NEW TRASH ENCLOSURE**  
- MASONRY DUMPSTER ENCLOSURE TO BE CONSTRUCTED WITH SIMILAR MATERIALS AS BUILDING (REQUIRED TO FULLY SCREEN DUMPSTERS)

| EXTERIOR MATERIALS |          |            |
|--------------------|----------|------------|
| MATERIAL           | AREA     | PERCENTAGE |
| SPLIT FACED CMU    | 224 S.F. | 27%        |
| BRICK VENEER       | 353 S.F. | 44%        |
| METAL FENCE        | 240 S.F. | 29%        |











### Client Approval

Signature \_\_\_\_\_

Date \_\_\_\_\_

NOTE: Please ensure all red line changes are noted on this drawing prior to returning it to ADCON. Subsequent to ADCON incorporating the red line changes requested on this drawing, any further changes will result in additional billing at the rate of \$86 per hour.

- Approved  
 Approved As Noted  
 Revise And Resubmit

Production Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Project Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Account Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

P&D Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Revision Notes:

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Dot No. \_\_\_\_\_

W.O. No. **3524**

Rev. No. **A** Date: \_\_\_\_\_  
By: \_\_\_\_\_

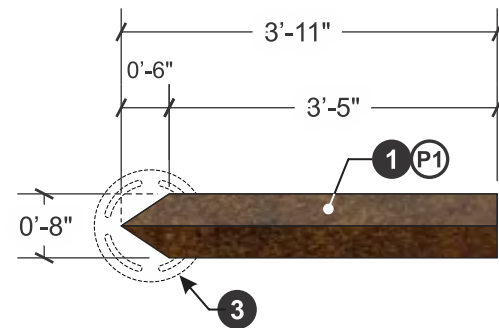
Sheet No. **7.0**

### SPECIFICATIONS FOR (1) ILLUMINATED S/F MOBILE ORDER PICK UP SIGN

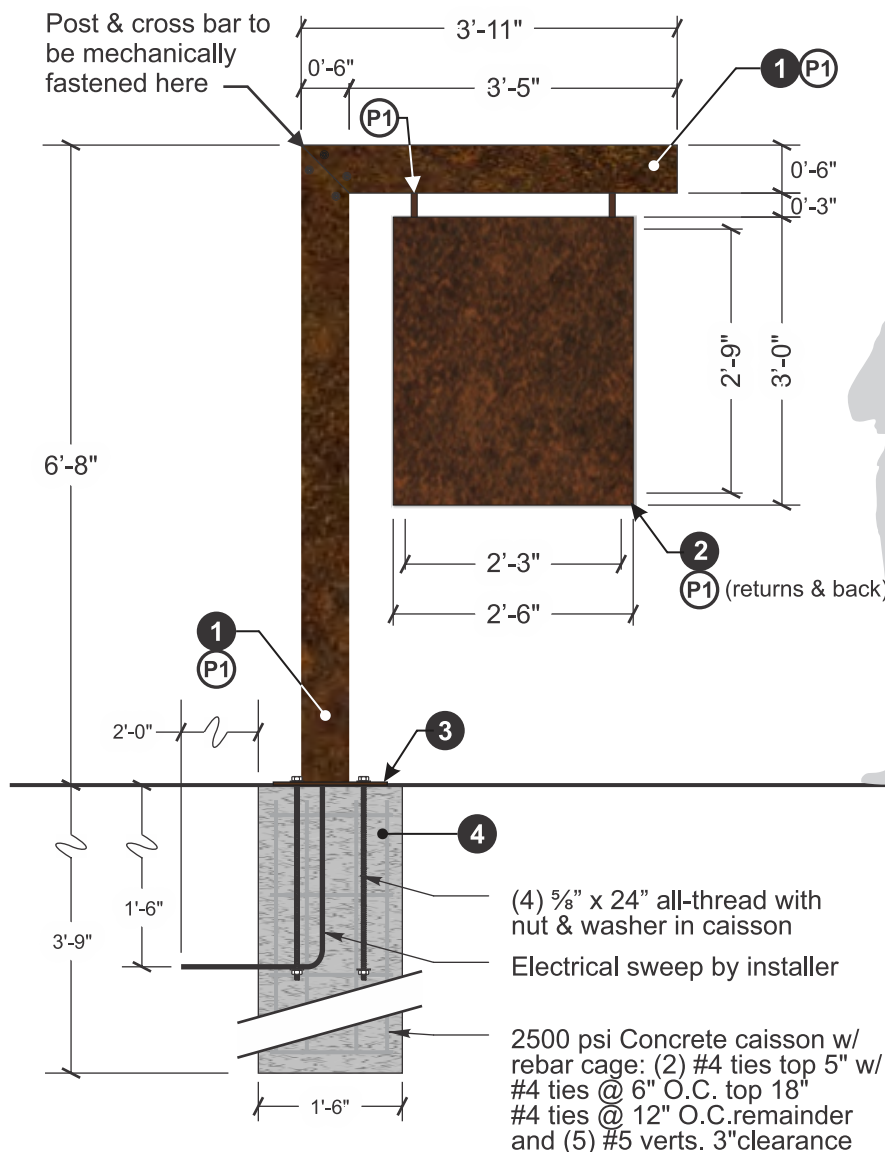
- 1 POST/CROSS BAR**= Internal 3" dia. x 3/8" wall alum pipe w/ 1/2" alum. base plate- Waterjet cut & brake formed 1/8" alum. pole covers w/ removable bottom & side panels. Covers attach to pipe w/ 1/4" gussets
  - 1a Downlighting:** Clear lens on bottom of cross bar washes light onto graphics panel below  
**Illumination:** Sloan Prism White LEDs
- 2 PANEL CABINET**= Perimeter 1" x 2" x 1/8" Alum rec tube frame w/ 1/8" face & back attached w/ countersink screws as req.
  - 2a Graphics Panel:** 1/8" Alum face w/ reverse-cut text & arrow graphics attaches flush to face of panel cabinet  
**Illumination:** See above 1a "Downlighting"
- 3 MOUNTING**= Post/Cross bar's base plate attaches to embedded bolts in caisson
- 4 CONCRETE**= Concrete caisson & rebar by Adcon

### COLOR SPECIFICATIONS

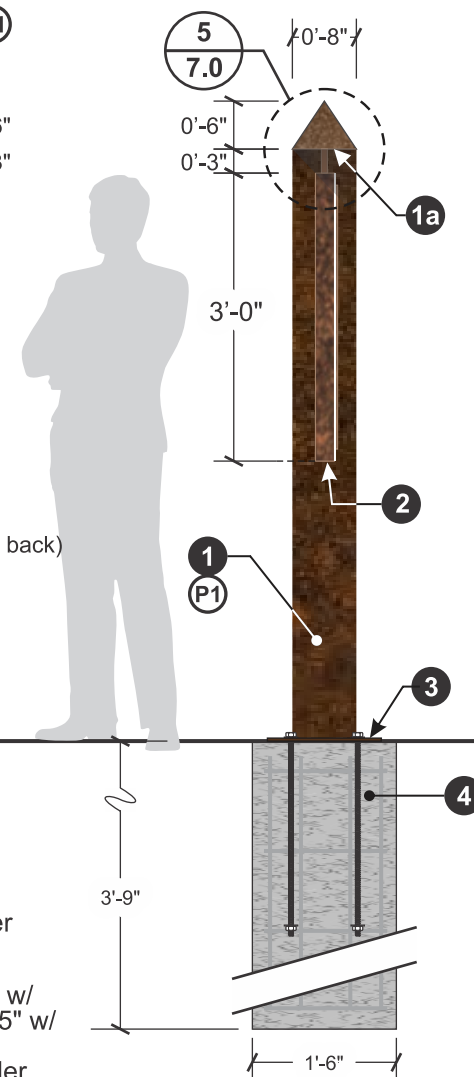
- (P1)** Prismatic Powder coat "Rustic Texture" UTB-5223  
**(P3)** Paint A-N "White" (Satin)  
**NOTE:** Paint all exposed fasteners to match adjacent finish



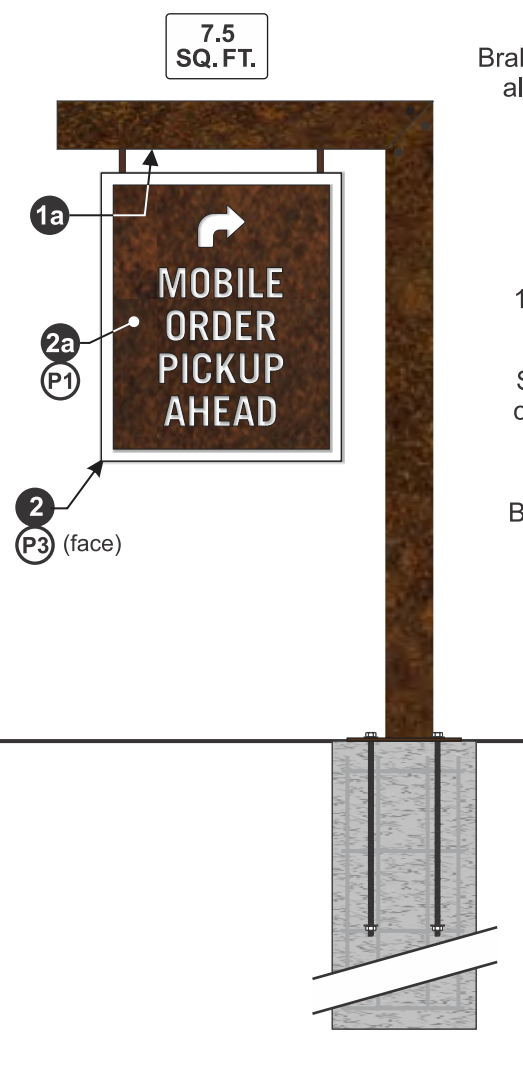
**1 PLAN VIEW**  
**7.0 SCALE: 1/2"=1'-0"**



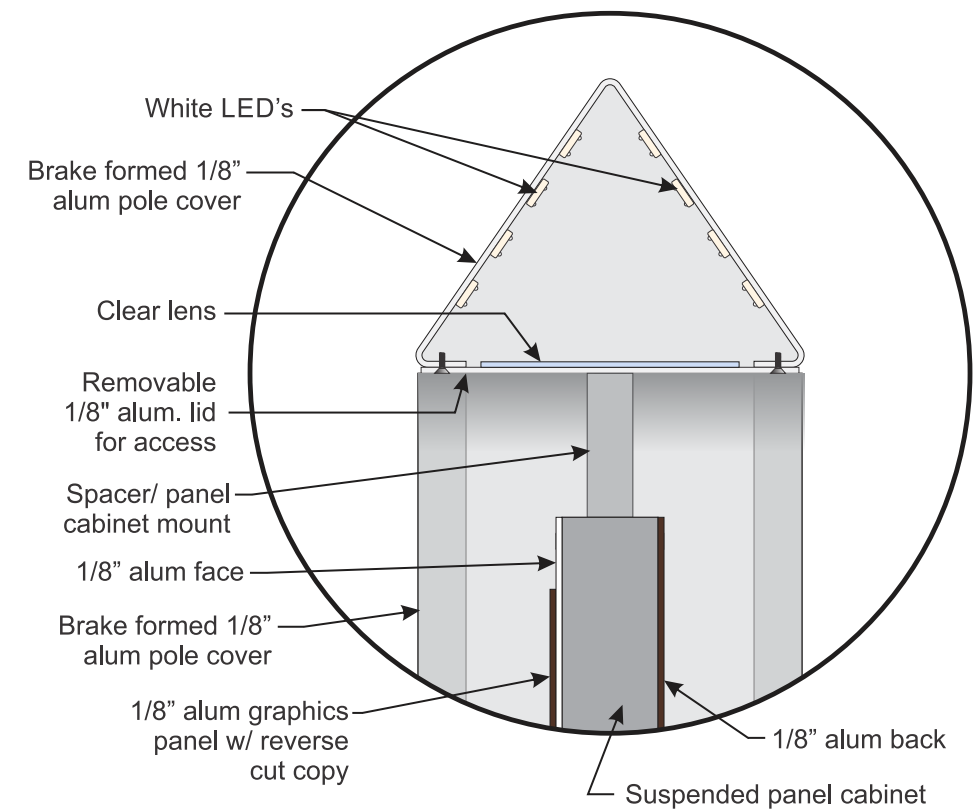
**2 ELEVATION**  
**7.0 SCALE: 1/2"=1'-0"**



**3 END VIEW**  
**7.0 SCALE: 1/2"=1'-0"**



**4 OPPOSITE ELEVATION**  
**7.0 SCALE: 1/2"=1'-0"**



**5 EXPANDED VIEW**  
**7.0 SCALE: 3"=1'-0"**

(4) 5/8" x 24" all-thread with nut & washer in caisson  
Electrical sweep by installer  
2500 psi Concrete caisson w/ rebar cage: (2) #4 ties top 5" w/ #4 ties @ 6" O.C. top 18" #4 ties @ 12" O.C. remainder and (5) #5 verts. 3" clearance

**Design Proposal for:**  
**Chipotle Mexican Grill**

Sign Type: \_\_\_\_\_ Directional

Date: \_\_\_\_\_ Month 00, 2019

Drawn by: \_\_\_\_\_

Account Manager: \_\_\_\_\_

Project Manager: \_\_\_\_\_

Design/ Quote #: \_\_\_\_\_

File Name: \_\_\_\_\_ Directional- XXXX

**Client Approval**

Signature \_\_\_\_\_

Date \_\_\_\_\_

NOTE: Please ensure all red line changes are noted on this drawing prior to returning it to ADCON. Subsequent to ADCON incorporating the red line changes requested on this drawing, any further changes will result in additional billing at the rate of \$86 per hour.

- Approved
- Approved As Noted
- Revise And Resubmit

Production Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Project Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Account Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

P&D Mgr. Approval \_\_\_\_\_ Date \_\_\_\_\_

Revision Notes:

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Seg. No. \_\_\_\_\_ ★

W.O. No. \_\_\_\_\_

Rev. No. **A** Date: \_\_\_\_\_ By: \_\_\_\_\_

Sheet No. **4.0**

**SPECIFICATIONS FOR (1) ILLUMINATED DIRECTIONAL SIGN**

**1 POST**=Waterjet cut & break-formed 1/8" alum. "post" (w/ capped top) welded to aluminum mounting plate. Removable side panel for access

**1a Graphics**: Reverse-cut text w/ 3/16" Milk White acrylic backing

**Illumination**: Sloan Prism White LEDs

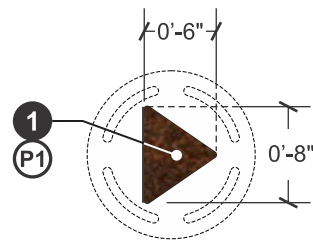
**2 MOUNTING**= Post's mounting plate attaches to embedded bolts in caisson

**3 CONCRETE**= Concrete caisson by Adcon

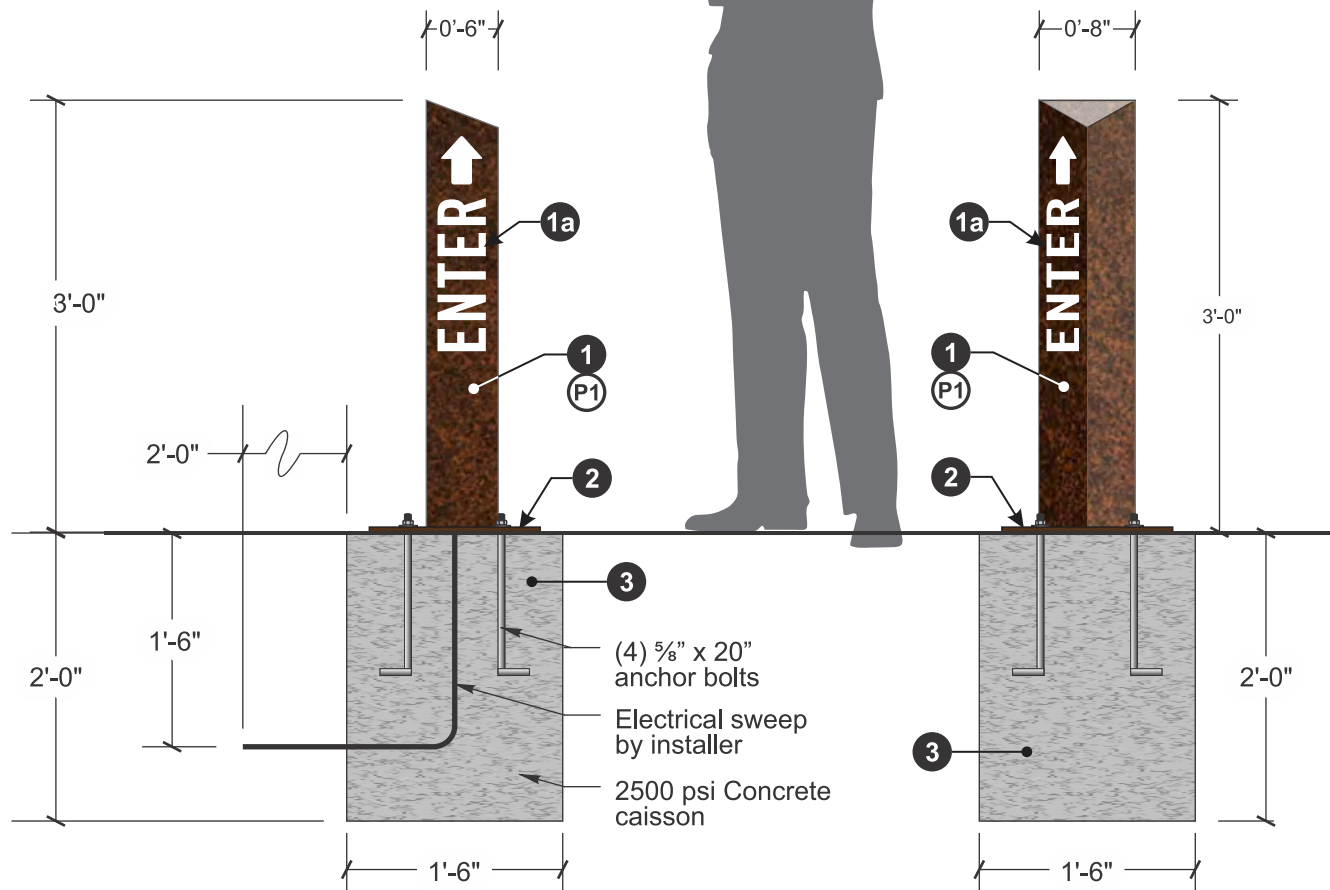
**COLOR SPECIFICATIONS**

**(P1)** Prismatic Powder coat "Rustic Texture" UTB-5223

**NOTE**: Paint all exposed fasteners to match adjacent finish

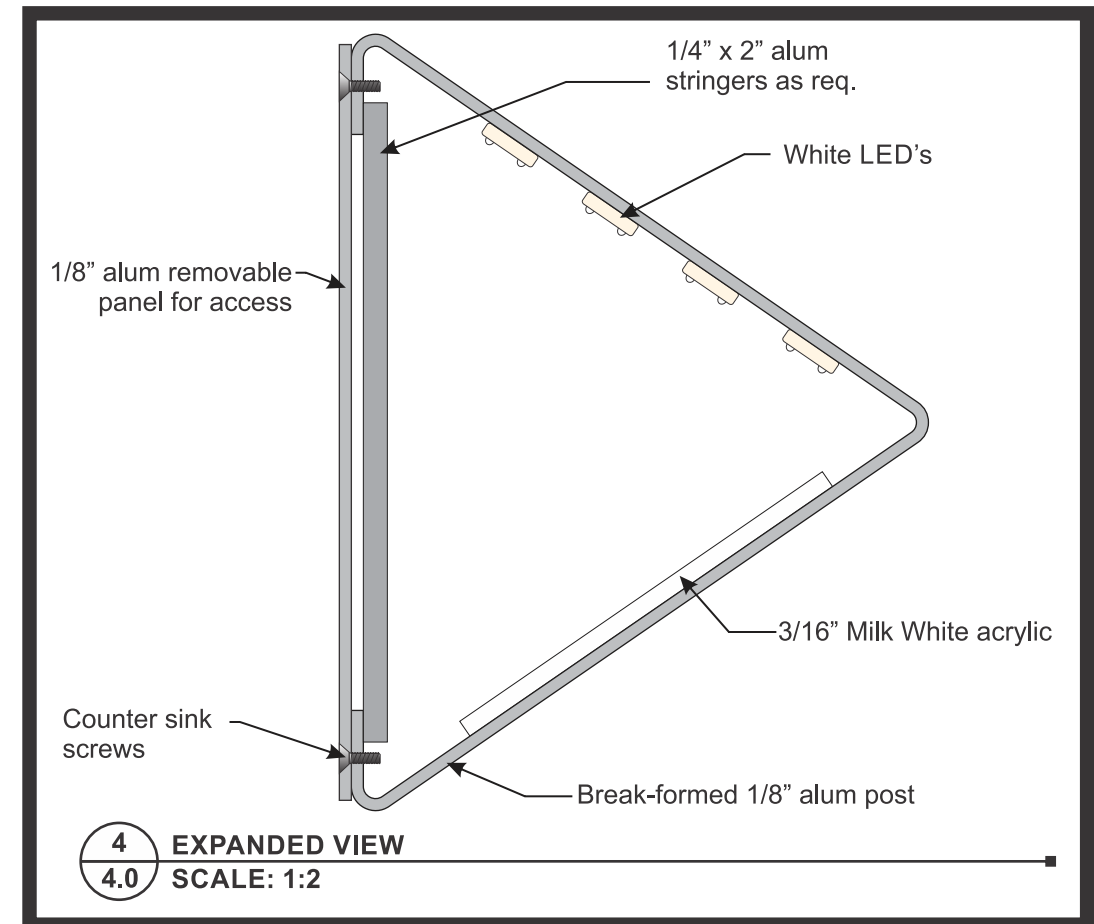


**1 PLAN VIEW**  
**4.0 SCALE: 3/4"=1'-0"**

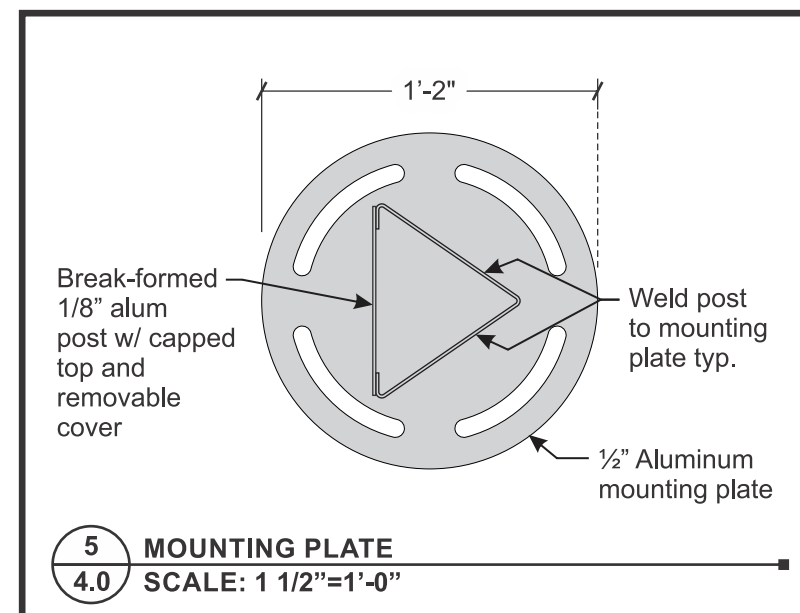


**2 SIDE ELEVATION**  
**4.0 SCALE: 3/4"=1'-0"**

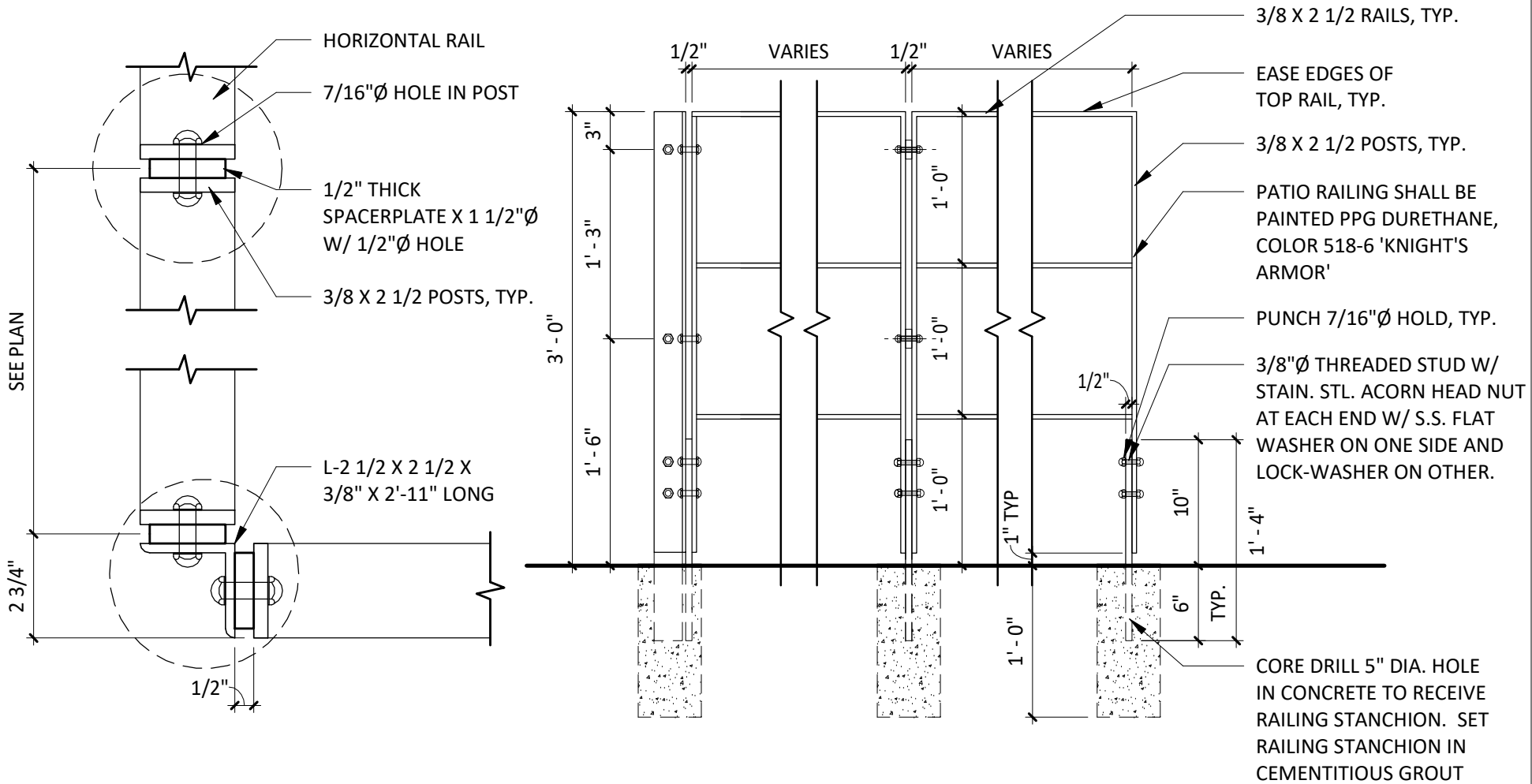
**3 FRONT ELEVATION**  
**4.0 SCALE: 3/4"=1'-0"**



**4 EXPANDED VIEW**  
**4.0 SCALE: 1:2**

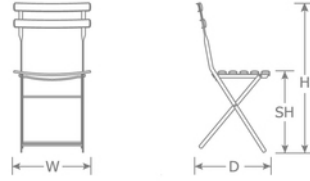


**5 MOUNTING PLATE**  
**4.0 SCALE: 1 1/2"=1'-0"**



SAR SKETCH FOR :  
 "191st & Harlem"  
 7228 2. 191st Street  
 Tinely Park, IL 60487  
 STORE NO.: 3866  
 5TH AUGUST, 2020

PATIO RAILING



| H   | W   | D   | SH  | Lbs |
|-----|-----|-----|-----|-----|
| 32" | 17" | 17" | 18" | 11  |

Outdoor/Indoor Folding Side Chair

E-coated powder coat finish

Made in Italy

Frame: Steel

Seat/Back: Steel Slats

Quick Ship Finishes:



Special Order Ship Finishes:



#### SHIPPING

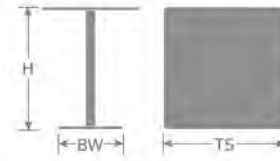
Master Pack Quantity: 2

Master Pack Dimensions: 38x8x19

Master Pack Weight: 25 Lbs.

Freight Class: 85

FOB: PA 17042



| H   | BW  | TS      | Lbs |
|-----|-----|---------|-----|
| 30" | 20" | 30" Sq" | 39  |

Outdoor/Indoor Table

E-Coated powder coat finish

Top: Solid Steel

Base: Solid Steel

Assembly Required: Yes

Quick Ship Finishes:



#### SHIPPING

Master Pack Quantity: 1

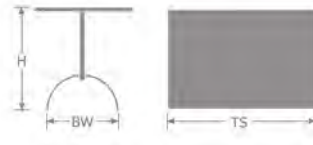
Master Pack Dimensions: 32"x6"x37"

Master Pack Weight: 47 Lbs.

Density: 11

Freight Class: 93

FOB: PA 17042



| TS        | Lbs  |
|-----------|------|
| 38" x 24" | 36.5 |

Outdoor/Indoor Table

E-coated powder coat finish

Made in Italy

Top: Solid Steel

Base: Square Steel Legs

Assembly Required: Yes

Quick Ship Finishes:



Special Order Ship Finishes:



White

#### SHIPPING

|                         |            |
|-------------------------|------------|
| Master Pack Quantity:   | 1          |
| Master Pack Dimensions: | 41"x6"x28" |
| Master Pack Weight:     | 41 Lbs.    |
| Density:                | 10         |
| Master Cartons/Pallet:  | 20         |
| Freight Class:          | 85         |
| FOB:                    | PA 17042   |



## chipotle shade platform: black canopy



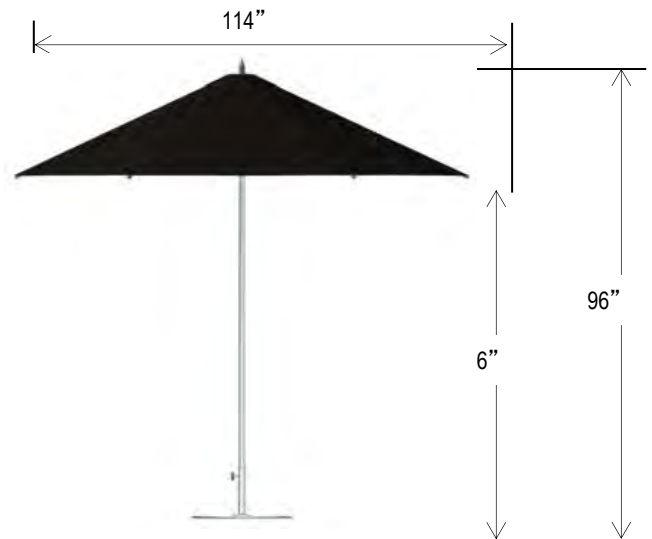
### TUUCI 8.5' Hexagon Premium Aluminum Parasol

#### Frame Construction:

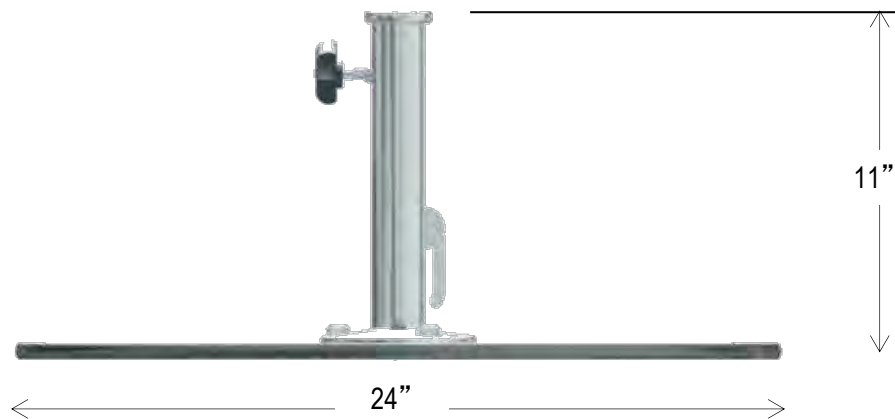
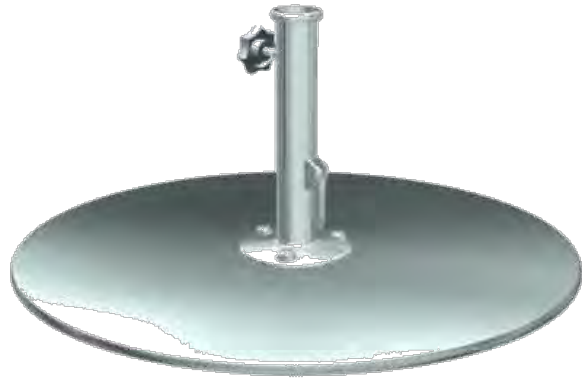
- Armor-Wall™ Aluminum Mast
- Aluminum Marine Satin Anodized Finish
- TUUCI's Patented Independent Bracket Hub System
- Manual Lift with Stainless Steel Security Pin
- Stainless Steel Hardware
- Modular Design Allows for Easy Parts Replacement

#### Canopy Construction:

- 100% Solution Dyed Acrylic Black Canopy with Matching Vent
- Ballistic-Reinforced Vent and Pocket Construction
- Market Profile Canopy with Single Vent



## chipotle Shade Anchoring System



24" / 75 lb Galvanized Steel Base with Auto-Cam Lock

**BASE:** 24" round, 75 lb galvanized steel base with "Cam Lock" stainless steel security plate and "star" handle security knob.





# PLAN COMMISSION STAFF REPORT

September 17, 2020 – WORKSHOP/PUBLIC HEARING

## Special Use for a Vocational Educational Facility

18440 Thompson Court

### Petitioner

Marilyn Monaco, on behalf of Steve Vernon, SAVI Properties LLC (property owner)

### Property Location

18440 Thompson Ct.  
STE 10

### PIN

19-09-01-101-012-0000

### Zoning

ORI, Hickory Creek PUD

### Approvals Sought

Special Use for a Vocational Educational Facility

### Project Planner

Paula J. Wallrich, AICP  
Planning Manager

## EXECUTIVE SUMMARY



Marilyn Monaco, Project Manager, has applied for a Special Use on behalf of Steve Vernon, SAVI Properties, LLC, for a Vocational Educational Facility to be located at 18440 Thompson Ct., Suite 10, in the Hickory Creek Planned Unit Development (PUD). The future tenant of this office building will be a new educational center for the [New School for Massage](http://www.newschoollmassage.com) ([www.newschoollmassage.com](http://www.newschoollmassage.com)) which is headquartered at 747 N. LaSalle Street, Chicago. The [New School for Massage](http://www.newschoollmassage.com) is a private, post-secondary, vocational school authorized by the Illinois Board of Higher Education to train students in massage therapy.

The subject property is located in the Hickory Creek PUD with an underlying zoning district of Office and Restricted Industrial (ORI). The proposed use meets the definition of a Vocational Educational Facility which requires a Special Use in the ORI District.

## HISTORY/ PROPOSED USE

The subject parcel is located in the Hickory Creek PUD, approved in 2006 (2006-O-028). The PUD provided for a mix of permitted ORI uses and certain B-3 permitted uses, yet specifically prohibited heavy industrial uses. The PUD comprises 99 acres; the buildings on Thompson Court developed with office and light industrial uses with modern attractive architecture. The 18440 Thompson Ct. building is a two-story building with 8 tenants and 5 vacancies.



The proposed use, the *New School for Massage*, is part of a campus expansion planned for the school currently operating out of Chicago. The school was founded in 2002 by Emmanuel Bistas, a licensed Massage Therapist, who founded the school *"to create the proper learning environment for developing exceptional, compassionate massage therapists with a solid understanding of basic and advanced techniques of massage and bodywork, professional ethics, and with the necessary business and entrepreneurial training to assist in the development of a successful career"*. In an effort to address a market need in the Tinley Park area, Mr. Bistas, chose the Thompson Court site due to the quality of surrounding development and ready access to future students. The tenant space is 2,461 Sq. Ft. in area. The open design classroom will accommodate up to 18 students, however the average class size he has experienced since 2006 is 6-10 students. There will be an office area that will accommodate 2 staff members. Hours have not been established but currently he operates weekday morning classes and evening classes. There is potential for weekend classes however this has not yet been finalized. Mr. Bistas anticipates most classes will be held in the evening. At the Chicago office there is a clinic for students to practice their lessons. There are no plans for a clinic at this location; the zoning also prohibits this use. Mr. Bistas and the property owner have been informed of this.

## ZONING & NEARBY LAND USES

The subject parcel is part of the Tinley Park PUD which comprises ~99 acres. The underlying zoning district is Office and Restricted Industrial (ORI). The 18840 Thompson Court building includes several health care related offices and other professional offices. The other buildings on the cul-de-sac include Schaff Windows (Showroom at 18445), Eat Enterprises (Vended Meal contactor at 18470 Thompson Ct.) and a multi-tenant building at 18475 Thompson Ct. that includes a youth gymnastics facility.



The subject property is completely surrounded by ORI zoning. The Hickory Creek PUD is bordered on the south by another ORI PUD (Vernon/Tracy); on the west by The Tinley Crossings PUD (ORI); on the east by the NorthCreek PUD (ORI); and on the north by the Tinley Park Police Department and Fire Training Center along with the former Tinley Park Mental Health Center (unincorporated). There are residential uses (R-3) northwest of the Hickory Creek PUD.



## SPECIAL USE

Vocational Educational Facilities are defined as “schools established to provide for the teaching of clerical, managerial, computer, or artistic skills. This definition applies to schools that are owned and operated privately for profit and that do not offer a complete educational curriculum (e.g. beauty school, modeling school, educational tutoring, and testing centers). Such a facility has a very low impact land use and is similar to an office use.” The proposed New School for Massage most closely fits this definition. Vocational Educational Facilities are allowed in the ORI as a Special Use.

Special Uses, because of their unique characteristics, cannot be properly classified in any particular district or districts without consideration, in each case, of the impact of those uses upon neighboring land and uses. There are standards for Special Uses that must be recommended by the Plan Commission (outlined below). In review of these standards Staff provides the following information:

Site Plan: The subject parcel is located on a cul-de-sac that is fully developed with three other buildings. Two of the buildings have a single user (Schaff Windows and Eat Enterprises) with two of the buildings comprise multiple tenants that come and go.

Parking: Previously there has been parking issues with one of the tenants in the cul-de-sac, however a shared parking lease has remedied the situation and the area no longer experiences parking issues. There are 130 parking spaces available for the 18440 Thompson Ct. building. The property owner, who controls the leasing of the building,

provided the following breakdown of parking for the tenants in the building. The chart indicates that 12-18 spaces have been allotted to the school. If the school were to function at maximum capacity there could potentially be a need for 20 parking spaces, assuming each student drove separately. Using a total of 20 spaces for the proposed use, the total parking need for the building would be 137, with a deficit of 7 parking spaces. In discussions with the property owner and leasing manager it was noted that PSA Healthcare only utilizes 10 spaces and CLEAResult works remotely (outside of COVID), resulting in a surplus of 19 parking spaces. Mr. Bistas believes his classes will operate similarly to his Chicago office which averages 6-10 students. He also plans to hold most classes in the evening which will not interfere with the daytime parking demand of the other tenants. The site is self-monitoring and the property owner understands that future leasing will need to be cognizant of the availability of parking to attract and retain tenants.

| Tenant                        | Suite                      | Number of spaces               |
|-------------------------------|----------------------------|--------------------------------|
| Segal McCambridge & Singer    | 100                        | 25                             |
| PROPOSED – New School Massage | 102                        | 12-18                          |
| VACANT                        | 103                        | 7                              |
| VACANT                        | 104                        | 8                              |
| PSA Healthcare                | 105                        | 15                             |
| Veritas Administrators        | 108                        | 12                             |
| CLEAResult                    | 109                        | 14 (Currently 0)               |
| World Data                    | 201                        | 5                              |
| Software Tech Enterprises     | 203                        | 8                              |
| VACANT                        | 204                        | 9                              |
| VACANT                        | 205                        | 7                              |
| George Perry & Associates     | 206                        | 4                              |
| Chiariello Behavioral Health  | 207                        | 3                              |
|                               |                            |                                |
|                               | <b>Current total</b>       | 117<br>not including Suite 102 |
|                               | <b>Total for Building:</b> | 130                            |

**Open Item #1: Discuss the availability of parking for the proposed use.**

Hours of operation: Mr. Bistas will hold evening classes that will be scheduled for 5:30p.m. – 9:30 p.m. There is one other tenant in the building operating with evening hours ( Chiariello Behavioural Health) which operates 10:00 a.m. – 7:00 p.m. Hours of operation are typically a concern if there are adjacent residential uses; there are no residential uses bordering the subject parcel.

**STANDARDS FOR A SPECIAL USE**

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; **the proposed use is similar to other uses in the established area.**

- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; **the area is developed with similar uses. Parking and hours of operation do not pose a negative impact to surrounding uses.**
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; **the immediate area is fully developed.**
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided; **this is a developed site with existing utilities, access roads and drainage. The proposed use does not alter current conditions or needs.**
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and **there is minimal traffic generation anticipated for the proposed use.**
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance. **There are no exceptions associated with the proposed use.**
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole. **The proposed use eliminates a vacancy in the building.**

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

## RECOMMENDATION

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If the Plan Commission wishes to take action on the Petitioner's requests, the appropriate wording of the motion is listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan.

### **Motion (Special Use):**

*"...make a motion to recommend that the Village Board grant a Special Use Permit to the Petitioner, Marilyn Monaco, Project Manager, for a Special Use on behalf of Steve Vernon, SAVI Properties, LLC, for a Vocational Educational Facility to be located at 18440 Thompson Ct., Suite 10, in the Hickory Creek Planned Unit Development (PUD) and adopt Findings of Fact as proposed by Village Staff in the Staff Report.*





Village of Tinley Park  
Community Development Dept.  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477  
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS  
**PLANNING AND ZONING GENERAL APPLICATION**

**REQUEST INFORMATION**

\*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- Special Use for: Massage Therapy School
- Planned Unit Development (PUD)  Concept  Preliminary  Final  Deviation
- Variation  Residential  Commercial for \_\_\_\_\_
- Annexation
- Rezoning (Map Amendment) From \_\_\_\_\_ to \_\_\_\_\_
- Plat (Subdivision, Consolidation, Public Easement)  Preliminary  Final
- Site Plan
- Landscape Change Approval
- Other: \_\_\_\_\_

**PROJECT & PROPERTY INFORMATION**

Project Name: New School Massage

Project Description: Minor office re-model to accommodate a massage therapy school.

Project Address: 18440 Thompson Ct. - STE 10 Property Index No. (PIN): 19-09-01-101-012-0000

Zoning District: ORI Lot Dimensions & Area: 2,461 sq/ft

Estimated Project Cost: \$ 15,000.00

**OWNER OF RECORD INFORMATION**

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Steven Vernon Company: SAVI Properties, LLC

Street Address: 18670 Graphics Dr. - STE 202 City, State & Zip: Tinley Park, IL 60477

E-Mail Address: mfleck@vernoncc.com Phone Number: [REDACTED]

**APPLICANT INFORMATION**

- Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: \_\_\_\_\_ Company: \_\_\_\_\_

Relation To Project: \_\_\_\_\_

Street Address: \_\_\_\_\_ City, State & Zip: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_ Phone Number: \_\_\_\_\_



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**PLANNING AND ZONING GENERAL APPLICATION**

**Authorized Representative Consent**

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

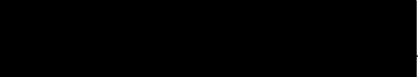
I hereby authorize Marylynn Monaco (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature: 

Property Owner Name (Print): Steven Vernon

**Acknowledgements**

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature: 

Property Owner Name (Print): Steven Vernon

Applicant Signature:   
(If other than Owner)

Applicant's Name (Print): Marylynn Monaco

Date: 08/10/2020

To whom it may concern:

The New School for Massage is a private, post-secondary, vocational school authorized by the Illinois Board of Higher Education to train students in massage therapy. The school has operated since early 2002 in downtown Chicago; the Tinley Park classroom is going to be an extension of the Chicago campus. The school's program is Endorsed by the Commission on Massage therapy Accreditation (COMTA). We have really high licensing exam rates and placement statistics. You can find information about our school at [www.newschoollmassage.com](http://www.newschoollmassage.com)

Our program, as other massage therapy programs, entails in-person instruction. This means that students must attend the school, in person; distance learning is not allowed (except for right now, due to COVID19). Our classroom would have 9 massage tables/desks for a total of 18 students per class. That would be the maximum, but a more likely number would be 12-14 students. There would also be an instructor and an administrative person. Classes are either during the day or on evenings. There are no plans for weekend classes currently. Evening classes run from 5:30 to 9:30. Massage therapy schools usually have a massage clinic; there are no plans currently to have a clinic at the Tinley Park location. Students would do their clinical hours on weekends at our Chicago location. I assume that our students would drive to the school, so having adequate parking would be important.

I am the school owner, licensed massage therapist as well, and chairperson of the Illinois Massage Licensing Board. My wife, Barb, is also a licensed massage therapist and works at Massage Envy in Tinley Park. We have 4 children and live in Frankfort. Alongside the school business we run a clinic in Chicago, and I am also employed full-time by CVSHealth. You can find my profile at <https://www.linkedin.com/in/emmanuelbistas/>

I hope this helps.

Emmanuel



August 17, 2020

Village of Tinley Park  
16250 S. Oak Park Ave.  
Tinley Park, IL 60477

**RE: Project Narrative for New School for Massage at 18440 Thompson Ct. – Tinley Park, IL 60477**

To whom this may concern,

SAVI Properties, LLC is asking for a Special Use Addendum for a small space in the building address listed above. We have a Client that is interested in 2,461 sq/ft space and to be called Suite 102 to create a small, open concept space for a massage therapy class room. New School for Massage is based out of Chicago but would like to add a location in the Tinley Park area to accommodate Students that prefer not to go to the Chicago location with the recent events that have taken place up North.

This space would consist of one (1) breakroom, a large open area, one (1) office and a small reception area. The Client has requested 12-18 parking spaces, depending on class size, to include the Instructor and the students for daytime and after-hours classes. We will not be making any changes to the property. This build-out would consist of the removal of one (1) wall and installing one (1) new wall to create a reception area.

Thank you,

A handwritten signature in black ink that reads "Marylynn Monaco". The signature is written in a cursive style and is positioned above a horizontal line.

Marylynn Monaco

**Property Manager – SAVI Properties, LLC**

18670 Graphics Dr. – STE 202  
Tinley Park, IL 60477



## VILLAGE OF TINLEY PARK, ILLINOIS SPECIAL USE ADDENDUM

### APPLICATION & SUBMITTAL REQUIREMENTS

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review and hearing dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting a **Special Use** permit from the terms of the Zoning Ordinance (Section 5-B). This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept plans prior to making a submittal.

- General Application form is complete and is signed by the property owner(s) and applicant (if applicable).
- Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.
- A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on any employee numbers, parking requirements, property changes, existing uses/tenants, hours of operation or any other business operations should be indicated. Any additional requests such as Site Plan approval or a Variation should be indicated in the narrative as well.
- A Plat of Survey of the property that is prepared by a registered land surveyor and has all up-to-date structures and property improvements indicated.
- Site Plan and/or Interior layout plans that indicate how the property and site will be utilized.
- Responses to all Standards for a Special Use on the following page (can be submitted separately along with the narrative, but all standards must be addressed).
- \$500 Special Use hearing fee.

## **STANDARDS AND CRITERIA FOR A SPECIAL USE**

Section X.J. of the Village of Tinley Park Zoning Ordinance requires that no Special Use be recommended by the Plan Commission unless the Commission finds that all of the following statements, A-G listed below, are true and supported by facts. Petitioners must respond to and confirm each and every one of the following findings by providing the facts supporting such findings. The statements made on this sheet will be made part of the official public record, will be discussed in detail during the public meetings and will be provided to any interested party requesting a copy. Please provide factual evidence that the proposed Special Use meets the statements below. If additional space is required, you may provide the responses on a separate document or page.

- A. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.**

*This Special Use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare.*

- B. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

*The Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, not substantially diminish and impair property values within the neighborhood.*

- C. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

*This Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.*

- D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

*The utilities, access roads, drainage, and/or other necessary facilities will remain the same.*

- E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

*We believe that this Special Use will not have an impact on the congestion of public streets.*

- F. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

*We ensure that this Special Use will conform to the applicable regulations of the district.*

- G. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.**

*We believe this will be beneficial to the community by bringing in Students that would primarily be commuting to and from the city of Chicago to the Village of Tinley Park.*