



**AGENDA FOR REGULAR MEETING
VILLAGE OF TINLEY PARK
PLAN COMMISSION**

February 17, 2022 – 7:00 P.M.
Council Chambers
Village Hall – 16250 S. Oak Park Avenue

Regular Meeting Called to Order

Pledge of Allegiance

Roll Call Taken

Communications

Approval of Minutes: Minutes of the February 3, 2022 Regular Meeting

**ITEM #1 WORKSHOP/PUBLIC HEARING – VOLVO TRUCKS NORTH AMERICA –
8201 183RD STREET SUITE G – SPECIAL USE PERMIT FOR A TECHNICAL
EDUCATIONAL FACILITY**

Consider recommending that the Village Board grant Scott Behe, on behalf of Volvo Trucks NA a Special Use Permit for a Technical Educational Facility at 8201 183rd Avenue, Suite G in the M-1 PUD (General Manufacturing, Tinley Crossings) zoning district.

**ITEM #2 PUBLIC HEARING – RJ’S SEAFOOD BUILDING ADDITION AND PATIO,
18201 HARLEM AVENUE – SPECIAL USE FOR PUD AND SITE
PLAN/ARCHITECTURAL APPROVAL**

Consider recommending that the Village Board grant Ramzi Hassan on behalf of Cornerstone Centre, LLC a Special Use for a Substantial Deviation from the Cornerstone Centre Planned Unit Development with Exceptions from the Zoning Ordinance located at 18201 Harlem Avenue in the B-4 (Office and Service) Zoning District. The granting of this request will allow for site modifications including the construction of a 525 SF building addition with a restaurant patio for RJ’s Seafood to the north of the existing building. Site Plan and Architectural Approvals are also required as part of the redevelopment.

ITEM #3 WORKSHOP/RECOMMENDATION - ZONING MAP UPDATE

Consider recommending that the Village Board adopt the Village’s Official Zoning Map reflecting map amendments through December 31, 2021.

Receive Comments from the Public

Good of the Order

Adjourn Meeting



**MINUTES OF THE REGULAR MEETING OF THE
PLAN COMMISSION, VILLAGE OF TINLEY PARK,
COOK AND WILL COUNTIES, ILLINOIS**

February 3, 2022

The meeting of the Plan Commission, Village of Tinley Park, Illinois, was held in the Council Chambers located in the Village Hall of Tinley Park, 16250 Oak Park Avenue, Tinley Park, IL on February 3, 2022.

CALL TO ORDER – ACTING CHAIRMAN SHAW called to order the Regular Meeting of the Plan Commission for February 3, 2022 at 7:00 p.m.

Lori Kosmatka called the roll.

Present and responding to roll call were the following:

Angela Gatto
Frank Loscuito
Eduardo Mani
Acting Chairman Ken Shaw
Kurt Truxal

Absent Plan Commissioners:

Chairman Garrett Gray
James Gaskill
Andrae Marak

Village Officials and Staff:

Dan Ritter, Planning Manager
Lori Kosmatka, Associate Planner

Petitioners:

Ramzi Hassan, on behalf of Cornerstone Centre, LLC
Derek Hassan, on behalf of Cornerstone Centre, LLC
Robyn Jones, on behalf of Francesca Restaurant Group
Bob Quellos, on behalf of FC Studio
Rachel Crowl, on behalf of FC Studio

Members of the Public:

None

COMMUNICATIONS –

There were no communications from Village Staff.

APPROVAL OF MINUTES - Minutes of the January 20, 2022 Regular Meeting of the Plan Commission were presented for approval. A motion was made by COMMISSIONER GATTO. The motion was seconded by COMMISSIONER MANI to approve the January 20, 2022 minutes. ACTING CHAIRMAN SHAW asked for a voice vote; all were in favor. He declared the motion carried.

TO: VILLAGE OF TINLEY PARK PRESIDENT AND BOARD OF TRUSTEES

FROM: VILLAGE OF TINLEY PARK PLAN COMMISSION

SUBJECT: MINUTES OF THE FEBRUARY 3, 2022 REGULAR MEETING

ITEM #1 WORKSHOP – RJ’S SEAFOOD BUILDING ADDITION AND PATIO, 18201 HARLEM AVENUE – SPECIAL USE FOR PUD AND SITE PLAN/ARCHITECTURAL APPROVAL

Consider recommending that the Village Board grant Ramzi Hassan on behalf of Cornerstone Centre, LLC a Special Use for a Substantial Deviation from the Cornerstone Centre Planned Unit Development with Exceptions from the Zoning Ordinance located at 18201 Harlem Avenue in the B-4 (Office and Service) Zoning District. The granting of this request will allow for site modifications including the construction of a 525 SF building addition with a restaurant patio for RJ’s Seafood to the north of the existing building. Site Plan and Architectural Approvals are also required as part of the redevelopment.

Present Plan Commissioners: Angela Gatto
Frank Loscuito
Eduardo Mani
Acting Chairman Ken Shaw
Kurt Truxal

Absent Plan Commissioners: Chairman Garrett Gray
James Gaskill
Andrae Marak

Village Officials and Staff: Dan Ritter, Planning Manager
Lori Kosmatka, Associate Planner

Petitioners: Ramzi Hassan, on behalf of Cornerstone Centre, LLC
Derek Hassan, on behalf of Cornerstone Centre, LLC
Robyn Jones, on behalf of Francesca Restaurant Group
Bob Quellos, on behalf of FC Studio
Rachel Crowl, on behalf of FC Studio

Members of the Public: None

ACTING CHAIRMAN SHAW invited staff to start with the presentation of this item.

Lori Kosmatka, Associate Planner, summarized the Staff Report for the Commission that was attached to the Plan Commission packet and will be attached to the minutes. She reviewed the background and proposal. Background included the existing site’s history, zoning, and land uses. She noted it was part of the Cornerstone Centre PUD. The proposed use will be a new concept by Francesca’s Restaurant Group including a building addition, trellised patio, lighting, landscaping, several planters, and building modifications including a new Nanawall operable door partition, and removal of one trash enclosure on the Cornerstone Centre development. The addition would allow for more space for a cooler, ice, point of sales station, and a trash holding area. The patio and new door partition would allow for better customer transition from inside to outside. The plantings and fence are intended to help beautify and screen the area. The changes to the PUD includes increase in building density, changes to site plan, and reduction in setbacks. Waste management and logistics were noted, including the property owner’s work to convert the tenants to using a single waste hauler with shared and labeled receptacles. RJ’s Seafood staff will walk trash out of the holding area nightly to the enclosure. Architectural renderings and material descriptions were also presented. The trellis and planters will be black to provide a contrast to the building’s brick and stone, while matching the black awnings. The building addition will be similar to or matching the existing building. Lighting will meet code and include 8 wall

sconces on the trellis posts and 12 surface/ceiling downlights on the beams. Signage will comply with the sign code. She presented a summary of open items and noted the petitioners were present.

ACTING CHAIRMAN SHAW asked if the Petitioner would like to speak. The Petitioner declined. He asked staff which of the open items might need discussion from the Commission versus which items were only noted for reference.

Lori Kosmatka responded that notable open items for discussion are trash management, screening, whether plantings on the west wall if it is a green wall or not, and whether there is enough information available to discuss the walkway planters.

ACTING CHAIRMAN SHAW asked each Commissioner for comments.

COMMISSIONER LOSCUITO said he believes the project looks great and will be a good addition to the Village. He asked for clarification on Open Item #3 regarding trash enclosures. Currently there are three enclosures. He asked if each occupant currently has different contracts with different haulers, and if the proposed solution is to put them under one contract.

Lori Kosmatka noted that the property owner is present to answer questions. She stated that previously tenants were under different contracts, and that staff has been working with the property owner to try to get the tenants under one hauler. She noted the owner is working to consolidate and label dumpsters with Homewood Disposal, and provided a letter included in the agenda packet.

The property owner noted when they took over the shopping center years ago, every tenant had a separate contract for their own trash, with their own receptacles behind the building near their back doors. Those existing trash enclosures were under-utilized to begin with. He noted they already have new contracts in place with Homewood Disposal, and that they are waiting for some of these companies to move their receptacles to fit the new receptacles inside the enclosures. Everything has been logistically figured out. He stated Homewood is confident there is more than enough room with the remaining two trash enclosures to support all the tenants including RJ's Seafood. There will now be shared dumpsters, shared recycling bins, and shared grease traps. Everything will be labeled accordingly so the tenants will know where their trash and recycling should go. He anticipates everything to be enclosed within the next week or so.

Dan Ritter noted the property owners have been good working with the Village on this issue which was identified during the consideration to remove one of the three enclosures. Staff had noted there were issues at that time and that removing an enclosure could make it worse. It appears now the property owners are half way there. If the tenants have their own dumpsters, they could end up unenclosed again. If the property owners do sell the property, staff wants to see that trash issues could be enforced with the next owners who might not otherwise have this knowledge, but can keep the trash maintained. Sometimes it is easier for the tenants to manage their own trash, and difficult to manage fitting everything into tight enclosures. However, if you have one hauler who manages it directly with the owner, you can increase service pickups if there are problems.

COMMISSIONER LOSCUITO asked if their trash will be kept in the building addition, and how far the distance is to be walked nightly to the closest enclosure.

Dan Ritter noted that it was brought up as a concern since it is relatively far, being the whole length of the building and going in front of other tenants. Sometimes restaurants may have security concerns. The grease would also be transported and there can be some leaks.

Robyn Jones on behalf of Francesca's Restaurant Group noted there's only one path along the north side of the building and then walking south. The plan is to transport trash after hours so as to not interface with any customers. The holding area keeps the trash secure throughout the day. She noted it is 210 feet.

Dan Ritter noted this situation has been present in other buildings where there is not a back exit, such as Just Shrimp. In this case, you have to do maintenance like power washing on the sidewalks in case something gets on them.

ACTING CHAIRMAN SHAW noted it's something to consider at the planning stage, and at that point it is a property maintenance issue.

Robyn Jones noted there is no back sidewalk so this is the most direct way.

Dan Ritter noted one alternative, if there issue, could be to build a third enclosure in the parking lot. However, for now, everyone is hoping the contract solution will work. If there is an ongoing issue, we could look at that. It would take away some parking and be near the roadway. There are not too many alternatives.

ACTING CHAIRMAN SHAW asked Commissioner Loscuito if there were any more questions on the subject of trash. Hearing none, he noted that this is such an important issue, rather than going back and forth on topics, he asked the other Commissioners for their input on this topic now.

COMMISSIONER TRUXAL stated he had concerns. He asked what was directly behind the building

Dan Ritter noted there was a 10-foot setback of grass, and the other side of the property line abutted with residential which also has a setback.

COMMISSIONER TRUXAL asked if there was a roadway between the setback and residential area.

Dan Ritter confirmed there is no roadway.

Bob Quellos on behalf of FC Studio noted that area has a six foot tall white privacy fence

COMMISSIONER TRUXAL asked if the existing trash enclosure is accessed from 182nd Street. He asked where the pickup is. It looks like there is a driveway that leads to it.

Dan Ritter stated that currently they come in from the parking lot. The building addition will be in the area of that existing northern trash enclosure. The addition will also help buffer the patio from the residents.

COMMISSIONER TRUXAL was concerned that grease and garbage is being run down the sidewalk on a nightly basis which would be problematic. He wondered if they should be made to walk on the parking lot instead of the sidewalks or not. There don't appear to be many options. He had originally thought the trash could be put behind the addition, but that would not be accessible.

Dan Ritter noted there is a utility easement there. Ten feet setback, rather than a larger setback, is already a waiver of the code. Ten feet is the bare minimum.

COMMISSIONER TRUXAL noted the fencing on the north wall will act as a sound barrier. He asked if there's any stipulation that it should remain if another restaurant takes over the space.

Dan Ritter responded it is part of the approved site plan, which will be attached as part of the PUD's substantial deviation. Staff could clarify that.

ACTING CHAIRMAN SHAW stated it is effectively part of the structure for approval.

COMMISSIONER TRUXAL stated his concern was if a new owner wants to open up the wall. This is an important sound barrier for the residents on the north side.

Lori Kosmatka noted they would have to come back for another consideration of a substantial deviation.

Dan Ritter concurred and said if there is a concern, it's best to err on the side of over clarifying. A condition can be added that if the patio is going to be occupied, they must have the approved landscaping and fence wall.

ACTING CHAIRMAN SHAW stated he would like to give Commissioners time to ask all the questions, but currently is looking for questions specific to the trash issue.

COMMISSIONER GATTO had no comment.

COMMISSIONER MANI stated his concerns were addressed.

ACTING CHAIRMAN SHAW noted it sounded like the trash issue was self-identified when the petitioner applied and that work was being done. He asked if going to a single trash hauler is being dictated by the owner to the tenants as leases are being renewed. He asked if this was a requirement in the lease.

The property owner responded yes.

ACTING CHAIRMAN SHAW noted it appears the addition will become part of the existing building, to be entered from the patio through a double door and the main building.

Lori Kosmatka clarified the existing building has a surrounding walkway with the patio located to the north.

Dan Ritter noted there is a door on the addition for employees only so the public will not access there.

ACTING CHAIRMAN SHAW noted if the addition is effectively just a part of the building. It will not only have trash but will also have a walk-in cooler and point-of-sale station.

Dan Ritter noted the addition also helps the petitioner pick up more space. The Village has received requests before to put coolers on the outside of a building, which our code does not really allow. It has to be enclosed in a building. If the trash area were not included with the cooler, then the petitioner would be transporting trash at a higher rate to the south enclosure.

ACTING CHAIRMAN SHAW asked Commissioner Loscuito for the balance of the topics.

COMMISSIONER LOSCUITO noted he liked the design. He asked if the outdoor space would only be used seasonally, or also in the winter, possibly closed off and heated.

Robyn Jones responded it would be seasonal.

ACTING CHAIRMAN SHAW asked if there are specific hours of operation that the Village would limit other than the standard noise ordinances.

Dan Ritter noted that the Village does not really regulate business hours. Liquor licensing can regulate hours by the Village's Liquor Commission. The Village does not typically hold the applicant to specific hours from a zoning perspective.

ACTING CHAIRMAN SHAW noted that the liquor licensing of hours would be a separate procedure.

COMMISSIONER TRUXAL noted the design was beautiful. He asked if there were any thoughts of having live entertainment, such as a small band, that might be a concern for residents.

Robyn Jones responded they do not have plans for that. The patio area is intended to be an extension of the dining room, not necessarily a banquet space. This use would just be for dining only.

COMMISSIONER GATTO agreed with the other Commissioners in that the design looks great. The issue she sees is with the trash enclosures, but she feels assured that the property manager will address it. She asked why the restaurant group did not go into the space at The Boulevard development. She noted that when plans for The Boulevard came to the Plan Commission, that Francesca's had wrote saying they would come to that space with an outdoor seating area. She feels the current proposal is strange in regards to this.

Robyn Jones responded she did not recall this.

Dan Ritter responded it may have just been a letter of interest with the developer but he didn't think it was any type of formal agreement to locate there. The only formal interest was from the former owner of Dancing Marlin that had gone through the incentive agreement process, but that fell through.

COMMISSIONER MANI stated he liked the design. He'd like to make sure the addition matches or is similar to the existing building and is not a bad afterthought.

ACTING CHAIRMAN SHAW noted that the potential for live entertainment on the outside might go along with the Village's music branding theme and could make a nice environment in a classy restaurant. He asked Commissioner Truxal if he is proposing a condition regarding live entertainment.

COMMISSIONER TRUXAL responded no. He stated it was just a question in consideration of the residences across the street. With the fence wall on the north and the brick wall on the east, sound should go up or to the south. It is not a big issue, but is something to think about if it is a problem down the road. There could be an opportunity for a choir or a one-piece band to perform. He does not propose a condition or stipulation for this.

Dan Ritter noted that the restaurant could be a good neighbor. There are also codes to enforce any problems. He does not suspect they will have full bands performing with complaints. Perhaps an acoustic performance could work, or else performance could be considered indoors in the north side of the existing building where the walls will open up.

ACTING CHAIRMAN SHAW noted it is an important topic. The Village does have existing noise ordinances though. He likes the design and concept. Having been a neighbor in this type of environment, he suspects neighbors may appreciate this change instead of a garbage truck's beeping noises to back up when retrieving trash. The proposal is a more attractive solution. The landscaping and the wall is a nice visual. He asked if the cedar fence wall is ventilated or solid.

Bob Quellos responded it would be wood slats without openings.

ACTING CHAIRMAN SHAW noted the deciduous Crimson Spire Oaks are tall. He asked if the foliage will be low to the ground. He feels the look of the trees will be attractive and help deaden sound.

Robyn Jones responded the landscape architect specified those.

ACTING CHAIRMAN SHAW asked if there's been any communication or feedback with the townhome associations or residents.

Lori Kosmatka responded no. There was a sign posted facing 182nd Street, and letters were mailed to residents beyond the 250-foot radius. The Village has not received any calls.

ACTING CHAIRMAN SHAW asked if it was a notice for this meeting or for the public hearing.

Lori Kosmatka responded it was noticed for the public hearing.

Dan Ritter noted this is typical of the process. Staff has to publish within a certain advance of the public hearing. Sometimes feedback is not yet available for the workshop portion. Staff can keep the Commission apprised if any feedback is received.

ACTING CHAIRMAN SHAW concurred that is how the process works so the public has an opportunity before decisions are made.

Dan Ritter noted staff had branched out further than the minimum in order to capture the residential development as opposed to 90% of the block.

Lori Kosmatka confirmed all the Glenswilly owners were mailed notices.

Dan Ritter noted those residents would be the ones most affected by the proposal.

ACTING CHAIRMAN SHAW asked staff to show the list of open items. Regarding open item #5's height of fountain grass, he was not entirely sure what the concern was. It looks like a living wall.

Bob Quellos responded it is not a living wall.

ACTING CHAIRMAN SHAW asked if the concern from staff is if the height is too tall or not tall enough.

Lori Kosmatka responded that when researching this type of planting, it appears to be a low height which contrasts with what is shown in the proposal.

ACTING CHAIRMAN SHAW commented it is important to know which one it is. He asked if it were a live wall, if it would present a different problem.

Dan Ritter responded staff would just like to know what it is. A living wall would be unique. The planting specification and the rendering don't match.

ACTING CHAIRMAN SHAW discussed open item #6 regarding architectural compatibility of color and aesthetics. He felt the design of the overall project looks nice. It is a nice contrast to the main building. He feels that if another patio is put on another end, it should be consistent. He has no concerns with the architecture as proposed. He noted a couple of the other Commissioners had already commented that the project is good looking. He asked staff if there has been enough feedback received.

Lori Kosmatka noted the considerable scale of the trellis and fence wall with the, colors and Nanawall feature, and is satisfied with the Commission's feedback on this.

ACTING CHAIRMAN SHAW noted it is also nicely capped. He asked if the petitioners had any questions or comments.

Robyn Jones and the property owners had no questions.

Dan Ritter offered the petitioner to explain what RJ's Seafood will be.

Robyn Jones noted she could if the presentation was available.

Dan Ritter noted the presentation was in the agenda packet. He provided the option for the presentation to be done at the public hearing.

ACTING CHAIRMAN SHAW noted that when he realized who the company was representing this proposal, it gave him additional comfort. He is very familiar with the Francesca's organization. They are very experienced, which raises the bar to show the applicant has thought out issues. This is a good partnership opportunity with the Village.

Dan Ritter noted that newer restaurants can be tricky with tight margins and finances.

ACTING CHAIRMAN SHAW thanked the petitioner for their time. It will be a little more formal at the public hearing, but staff will help you work out details until then. The public hearing will be February 17th.

COMMISSIONER MANI thanked the petitioner for bringing their project to Tinley Park.

COMMENTS FROM THE PUBLIC – ACTING CHAIRMAN SHAW asked if there were comments from the public. Hearing none, he asked to for the Good of the Order.

GOOD OF THE ORDER –

Dan Ritter reviewed the following Good of the Order items:

- Dunkin drive-through was approved by Village Board.
- Magnuson Residences were approved by the Village Board. A bond will be required, with deadlines for a permit.
- Pete’s office warehouse additions were approved by Village Board and is in for permit. They are doing the originally approved and office additions. They are moving forward on the grocery building and anticipate to get going in Spring. The grocery will be new construction with another 20,000-30,000 square feet of additional retail alongside it and will be along the back row by the former Aldi’s. They’ve attached retail in other locations such as Willowbrook. It will bring activity to the area.
- DR Horton (Oak Ridge) was approved by Village Board, and is progressing on final plans. They will likely come back to Plan Commission in Spring for final approval and to start work soon after.
- Starbucks at Harlem has their permit. If they haven’t moved the earthwork yet, they will soon.
- Smoothie King has resubmitted their latest revision and hopes to get building in Spring.
- Popus Popcorn has their permit ready for the buildout. The landlord was doing some work as a whitebox right now. It will be the first commercial tenant of The Boulevard. It will be a family friendly shop which will be a nice combination with The Scoop. They have not yet specified when they will open.
- The Village’s new Management Analyst is anticipated to possibly begin in March. The Village made a job offer. The role will have a range of duties including code updates, analysis of processes and codes and administrative work.
- The Village has made a job offer for the Business Retention Expansion position. The new hire could possibly begin in March.
- The Golf Show will be at the Convention Center this weekend.
- The Village agreed to buy the Lincoln Way school district owned property at 191st St and Harlem Ave. This is the vacant land, not the former Lincoln Way North High School. The Village is excited to get control of the land, and will look for master developers. Previously the Developers would have had to negotiate with the school district while going through zoning entitlement with the Village, which reduced interest. Now the Village will have control to sell it and expedite the process. There is a creek and some drainage challenges. There are also some access challenges that were a hurdle for Woodman’s previously. Though there are challenges, they can be worked out and it will be a great location for retail off the expressway, on Harlem Avenue, and in Will County.

ACTING CHAIRMAN SHAW noted a comment about Magnuson. He was involved and aware the entire time of the project. He is aware of the challenges for everyone, especially Staff. He felt staff did a great job and appreciates the effort. The project was a great object lesson for understanding how the zoning and planning process works. It shows how important it is to have staff and elected officials doing the work and asking questions. He noted every vote is a deciding vote because everybody votes. The deciding vote is not the last person who votes. He is optimistic that project will eventually conclude with a nice set of apartments. He entertained a motion to close the meeting.

CLOSE MEETING -

A Motion was made by COMMISSIONER MANI, seconded by COMMISSIONER LOSCUITO to adjourn the February 3, 2022 Plan Commission meeting.

ACTING CHAIRMAN SHAW asked for a voice vote; all were in favor. He declared the motion carried and adjourned the meeting at 8:12 P.M.

PLAN COMMISSION STAFF REPORT

February 17, 2022 – Workshop/Public Hearing

Volvo Trucks Training – Special Use for a Technical Educational Facility

8201 183rd Street, Suite G

Petitioner

Scott Behe on behalf of
Volvo NA

Property Location

8201 183rd St. Suite G

PIN

19-09-02-205-003-0000

Zoning

M-1 PUD (General
Manufacturing, Tinley
Crossings Corporate
Center PUD)

Approvals Sought

Special Use Permit



EXECUTIVE SUMMARY

The Petitioner, Scott Behe, on behalf of Volvo Trucks North America, is requesting a Special Use Permit for a *Technical Educational Facility* as a tenant occupying 8201 183rd Street Suite G of a multi-tenant building. The tenant space is within the Tinley Crossings Corporate Center Planned Unit Development (PUD), with the underlying M-1 General Manufacturing Zoning District.

The Volvo Trucks NA business will operate as Volvo Academy & Mack Trucks Academy, which will serve to train employees on how to service vehicles for Volvo and Mack dealerships in North America. This facility is relocating from Joliet.

The Petitioner does not propose any changes to the site, building's architecture, landscaping, or lighting. The training facility is limited to employees of Volvo and Mack dealership and is not open for training to the general public. Due to training being scheduled with their employees, parking is not expected to be a concern as it may if the facility was traditional educational facility open to the public.

Project Planner

Lori Kosmatka
Associate Planner

EXISTING SITE, NEARBY LAND USES, & ZONING

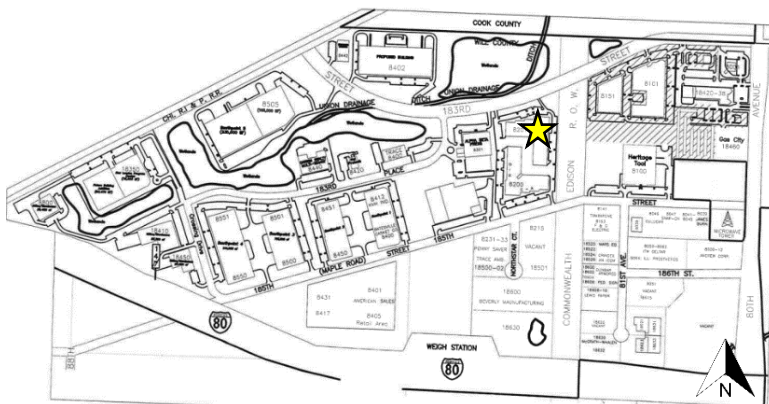
The subject property at 8201 183rd Street, Suite G, is an existing tenant space in a multi-tenant building, approximately 84,450 square feet, located on the south side of 183rd Street. The tenant space was previously occupied by TSI Flooring.

The building is part of the Tinley Crossings Corporate Center Planned Unit Development (PUD), which was annexed in 1999 and approved by Ordinance 1999-O-002. The PUD is west of 80th Avenue, east of I-80, surrounding 183rd Street. The development was originally proposed as a corporate center and industrial park. Other tenants in the building include neighboring Iron Power Services (office) and Crisis Center for South Suburbia (office), as well as other tenants including Carey's Heating & Cooling, Allstates Rubber & Tool, Soundgrower Brewing, MVP Fire, South Shore Roofing, and EOS CCA (office).



Location Map

The subject property is within the Tinley Crossings PUD, which has the underlying M-1 General Manufacturing Zoning District. The surrounding area is also within the M-1 Zoning District. The Zoning Ordinance states that the M-1 Zoning District is *"intended to provide for those industrial activities that have moderate environmental effects and are located in areas relatively removed from residential and prime retail development"*.



Tinley Crossings Corporate Center PUD Map



Zoning Map

USE	Zoning District							
	B-1 (Neighborhood)	B-2 (Community)	B-3 (General)	B-4 (Office/ Service)	B-5 (Auto)	ORI	M-1	MU-1 (Duvan Drive)
Educational facilities, technical	X	X	X	X	S	S	S	X

Key: S = Special Use, P = Permitted Use, X = Prohibited Use

Table from Section V-B-Schedule I (Schedule of Permitted Uses) of the Zoning Ordinance

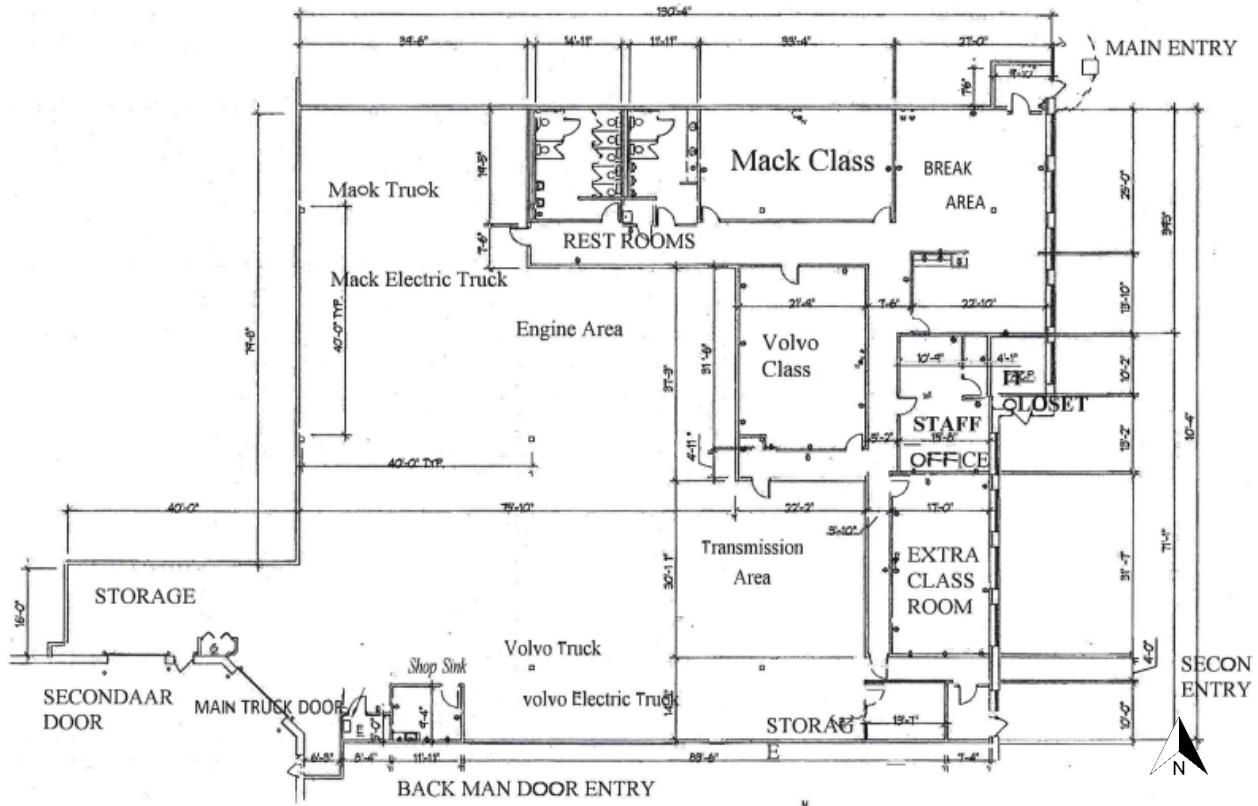
PROPOSED USE

The Petitioner proposes to relocate a facility that will primarily operate as a training center for mechanics of Volvo and Mack Trucks. The facility previously operated in Joliet. The tenant space is approximately 14,665 square feet of floor space.

The facility will include two full-time employees, weekly classes, and quarterly regional meetings. The classes will have a total of 6-12 trainees, typically broken into two sets, The classes typically last two days and, with two classes held per week. Staff is anticipated to be on site from 7:30am-5:00pm Monday-Friday, with classes operating 8:30am-4:00pm.



Class conducted in the shop area at a similar facility



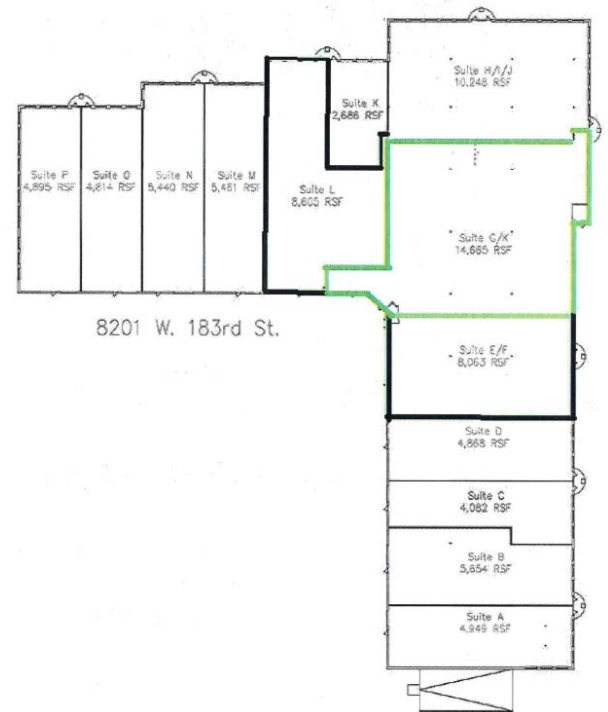
Floor Plan of Tenant Space - Suite G

The facility will be for use by registered and paid attendees only, who will be sent by Volvo and Mack dealerships. The facility will not include training nor any general public events for the public. The facility will not advertise for any open public events.

The Petitioner has confirmed the facility will meet the Village’s Performance Standards for the M-1 Zoning District per Section V.C.9, which include noise, vibration, air pollution, fire & explosion hazards, and glare. To help clarify the land use impact, the Petitioner has noted that the training will generally be done in a classroom format with some hands-on training repair of vehicles, and will not involve test driving of vehicles on the site. The Petitioner has provided a floor plan of the tenant space which spatially lays out the use.

SITE PLAN

In addition to the floor plan of the tenant space, the Petitioner has provided a map showing access points to the tenant space (Suite G), as well as building plan breaking out the tenant spaces. The Petitioner does not propose any changes to the site.



Access points & Building Suite Spaces

There are three entrances into the building. The main entrance is at the northeast corner. A secondary entrance is further south on the east side. Two overhead doors and a man door are at the southwest corner of the suite and building, which lead into the engine/shop area.

PARKING

The Petitioner has provided a detail of anticipated occupancy to help estimate the parking needed, and has noted that their lease with the property owner includes up to 25 parking spaces on site. The Petitioner anticipates less than ten parking spaces will usually be needed, two for employees to park in the rear (southwest of the building), and 6-8 in front (east of the building). The Petitioner notes a significant portion of the attendees will fly in and use Uber and/or shuttles to attend class and stay in the area. The Volvo and Mack trucks will be stored in the warehouse only. Additionally, no vehicles or trucks will be stored outside overnight.

SITE CHANGES AND SIGNAGE

The Petitioner does not propose any changes to the building's architecture, landscaping, or lighting. The building's front facades of the suites are located on the north and east sides of the building, alongside a drive aisle with parking. The Petitioner plans to include signage on the property, which has been identified as one wall sign on the building, and include a tenant panel on the existing monument sign. The Petitioner has not yet submitted the proposal for the signage. The signage will need to meet Zoning Ordinance requirements.

STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Findings of Fact have been drafted by staff and outlined below for Plan Commission consideration.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - ***The facility will have safety measures in place and operations will occur within the tenant space. No business operations or training will occur outside of the building or in the parking lot. The facility will host a small group of trainees from Mack and Volvo dealerships. The facility will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare of the Community.***
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - ***The facility operations will be professional in nature and occur within the tenant space, which was designed and zoned for industrial operations. The use will not harm surrounding properties nor diminish the property's value within the neighborhood.***
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - ***The building is existing and no changes are proposed to the exterior. The business will have no effect on the existing surrounding development.***
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - ***The building is existing and no changes are proposed to the exterior. The site is adequately supplied with utilities, roads, and drainage facilities.***
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
 - ***The existing building's access and site layout is adequate to handle the proposed traffic of the use and will not cause increased traffic congestion in or around the site.***
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
 - ***The Petitioner has indicated they will meet all other Village regulations.***
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

- ***The facility is expected to benefit the economic development of the Community by bringing new jobs, as well as visitors to the Community who are anticipated to contribute to the local business and tax revenues through use of local lodging, dining, shopping and entertainment.***

It is also important to recognize that a Special Use Permit does not run with the land and instead the Special Use Permit is tied to the Petitioner. This is different from a process such as a variance, since a variance will forever apply to the property to which it is granted. Staff encourages the Plan Commission to refer to Section X.J.6. to examine the conditions where a Special Use Permit will expire.

MOTION TO CONSIDER

If the Plan Commission wishes to act on the Petitioner’s request, the appropriate wording of the motion is listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner’s proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan. The Commission may choose to modify, add, or subtract to staff’s recommended motions and recommended conditions as they choose prior to voting on the motion.

Special Use Permit:

“... make a motion to recommend that the Village Board grant the Petitioner, Scott Behe of Volvo Trucks North America, a Special Use Permit to operate a Technical Educational Facility at 8201 183rd Street, Suite G in the M-1 PUD (General Manufacturing, Tinley Crossings Corporate Center) Zoning District, according to the submitted plans and adopt the Findings of Fact pas listed in the February 17, 2022 Staff Report.”

LIST OF REVIEWED PLANS

Submitted Sheet Name		Prepared By	Date On Sheet
	Application		
	Narrative		
	Response to Standards for a Special Use		
	Survey		
	Aerial of Two-Building Development Showing Roadway Access		
	Aerial of Building’s Access Points for Tenant Space		
	Building Suite Spaces		
	Floor Plan of Tenant Space		



Village of Tinley Park
Community Development Dept.
16250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS SPECIAL USE ADDENDUM

APPLICATION & SUBMITTAL REQUIREMENTS

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review and hearing dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting a **Special Use** permit from the terms of the Zoning Ordinance (Section 5-B). This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept plans prior to making a submittal.

General Application form is complete and is signed by the property owner(s) and applicant (if applicable).

X Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.

A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on any employee numbers, parking requirements, property changes, existing uses/tenants, hours of operation or any other business operations should be indicated. Any additional requests such as Site Plan approval or a Variation should be indicated in the narrative as well.

A Plat of Survey of the property that is prepared by a register land surveyor and has all up-to-date structures and property improvements indicated.

Site Plan and/or Interior layout plans that indicate how the property and site will be utilized.

Responses to all Standards for a Special Use on the following page (can be submitted separately along with the narrative, but all standards must be addressed).

\$500 Special Use hearing fee.



Village of Tinley Park
Community Development Dept.
15250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS
PLANNING AND ZONING GENERAL APPLICATION

REQUEST INFORMATION

*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- Special Use for: Educational facilities, technical
- Planned Unit Development (PUD) Concept Preliminary Final Deviation
- Variation Residential Commercial for _____
- Annexation
- Rezoning (Map Amendment) From _____ to _____
- Plat (Subdivision, Consolidation, Public Easement) Preliminary Final
- Site Plan
- Landscape Change Approval
- Other: _____

PROJECT & PROPERTY INFORMATION

Project Name: Volvo Trucks Academy and Mack Trucks Academy

Project Description: Training Center

Project Address: 8201 W. 183rd Street Property Index No. (PIN): 19-09-02-205-003-0000

Zoning District: M-1 Lot Dimensions & Area: _____

Estimated Project Cost: \$ _____

OWNER OF RECORD INFORMATION

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: _____ Company: JCR Corporation

Street Address: _____ City, State & Zip: Chicago, IL 60613

E-Mail Address: _____ Phone Number: _____

APPLICANT INFORMATION

Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: Volvo Trucks NA Company: Volvo Trucks NA

Relation To Project: Leasee

Street Address: _____ City, State & Zip: _____

E-Mail Address: _____ Phone Number: _____



Village of Tinley Park
Community Development Dept.
16250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS
PLANNING AND ZONING GENERAL APPLICATION

Authorized Representative Consent

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize ROB PALKA + HARRIET BASIORKA (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements made by the designated representative.

Property Owner Signature:



Property Owner Name (Print):

JOAN BODEN-CAPODICE

Acknowledgements

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and correct to the best of their knowledge.

Property Owner Signature:



Property Owner Name (Print):

JOAN BODEN-CAPODICE

Applicant Signature:
(if other than Owner)



Applicant's Name (Print):

Scott Behe

Date:

January 24, 2022

1/20/2022

To the City of Tinley Park, IL:

- Volvo Trucks NA will utilize the Tinley Park facility at 8201 W. 183rd St as a training facility for Volvo Trucks and Mack Trucks dealer personnel from around the country. The facility will be staffed by 2 full time employees with weekly class attendance of 6-12 people at time, with typical classes lasting two days. We typically hold two classes at a time for a total of 4 classes per week, with 12-24 total people visiting the center in a week. Our lease provides for up to 25 parking spots on site, and we anticipate less than 10 cars at any given time. A significant portion of the attendees will fly in and use Uber and/or shuttles to attend class and stay in the area. We anticipate normal usage of parking to be by our 2 full time employees and 6-8 other vehicles max. Site Parking: 8201 & 8200, both owned by JCR Corporation, has about 362 Parking Spaces with ADA spots per code. 8201 building has 168 spots directly around the building. There are 10 spots directly in front our Suite G, with 3 ADA/Handicapped spots marked. There are 2 employee spots in the rear of the building. We can use an additional 15 available spots per our lease agreement on either side of our front entrance for use on first come, first serve basis. In addition, should there be overflow, landlord has an agreement with ComEd for overflow parking in the adjacent lot that is paved and maintained with walkways to the parking area of 8201. We don't anticipate using the ComEd lot, if at all.
- This facility is for use by registered and paid attendees only (sent by dealerships) and will host no general public event nor advertise for any open public events.
- We operate class 8:30-4pm, Monday - Friday. Our staff is on site, typically from 7:30-5pm Monday-Friday.
- We do plan for one sign for to be placed on the building for our visitors. Magna Corporation sign company, a /Volvo corporate partner, will be submitting drawings and permits request for such sign in the coming days. Landlord has approved. Building monument sign will be updated accordingly.
- We will perform nothing outside of the facility that would impact the area in any way.
- No vehicles or trucks will be stored outside/overnight.
- Volvo and Mack electric trucks will be stored in the warehouse only.
- We have three entries into the building. One main entrance into our Suite location, Suite G, a secondary entrance at the front of the building that opens into the shop area, and a rear entrance man door and two overhead doors that open into the shop area.
- Our use will have no impact on other businesses. We are good tenants and typically enhance the surrounding area and make good neighbors. Globally, we have a strong mission of sustainability and working in an environmentally friendly as well. This will be our central location for training technicians about Electric Trucks. Our Volvo and Mack Electric trucks are industry leading in performance and sustainability, both are even manufactured with zero landfill waste. We train to sell and repair in the same way.
- We anticipate this facility to host 12 people at a time, with up to 24 unique individuals 1-2 times a year, staying a minimum of two nights, plus dining, gas stations, nightly use of local entertainment options, etc. We anticipate adding \$500,000-\$700,000 annually to the local community through local business revenue, utility use, local use taxes and more.

- Volvo AB, and Volvo Group North American and Mack Trucks are iconic global brands that take our responsibility to our communities very seriously. We operate in a highly environmentally friendly way, we are regularly voted as one of the best companies to work for all over the globe, we volunteer thousands of hours and donate millions of dollars to our communities around the world and specifically in North America, we serve our dealer network that are locally owned and operated with a heavy footprint in the central part of the United States, and especially in the immediate area around Tinley Park. We will be valued community members that will always do what is right.
- In addition, see attached images, one highlights with Blue dots our access points to the facility.
- One highlights parking, blue for general spots near the front of our building included in our lease, plus spots at the rear of the building for staff. Yellow indicates cross median walkways to the overflow lot leased from ComEd and Red highlighting where that space is already in use by previous tenants at the time of aerial photos. Purple is main entrance to property.
- Also attached is an interior layout, labeled for our exact use.

STANDARDS AND CRITERIA FOR A SPECIAL USE – VOLVO NORTH AMERICA

A. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.

This facility will host small group training of Mack and Volvo truck dealers and poses no danger to public, health, safety,

B. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.

The use of this facility will be of the utmost professional in nature and do nothing less than help enhance the surrounding area.

C. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

It will not impede development or improvement of the area.

D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.

All utilities and access are already in place.

E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.

All of these items are in place.

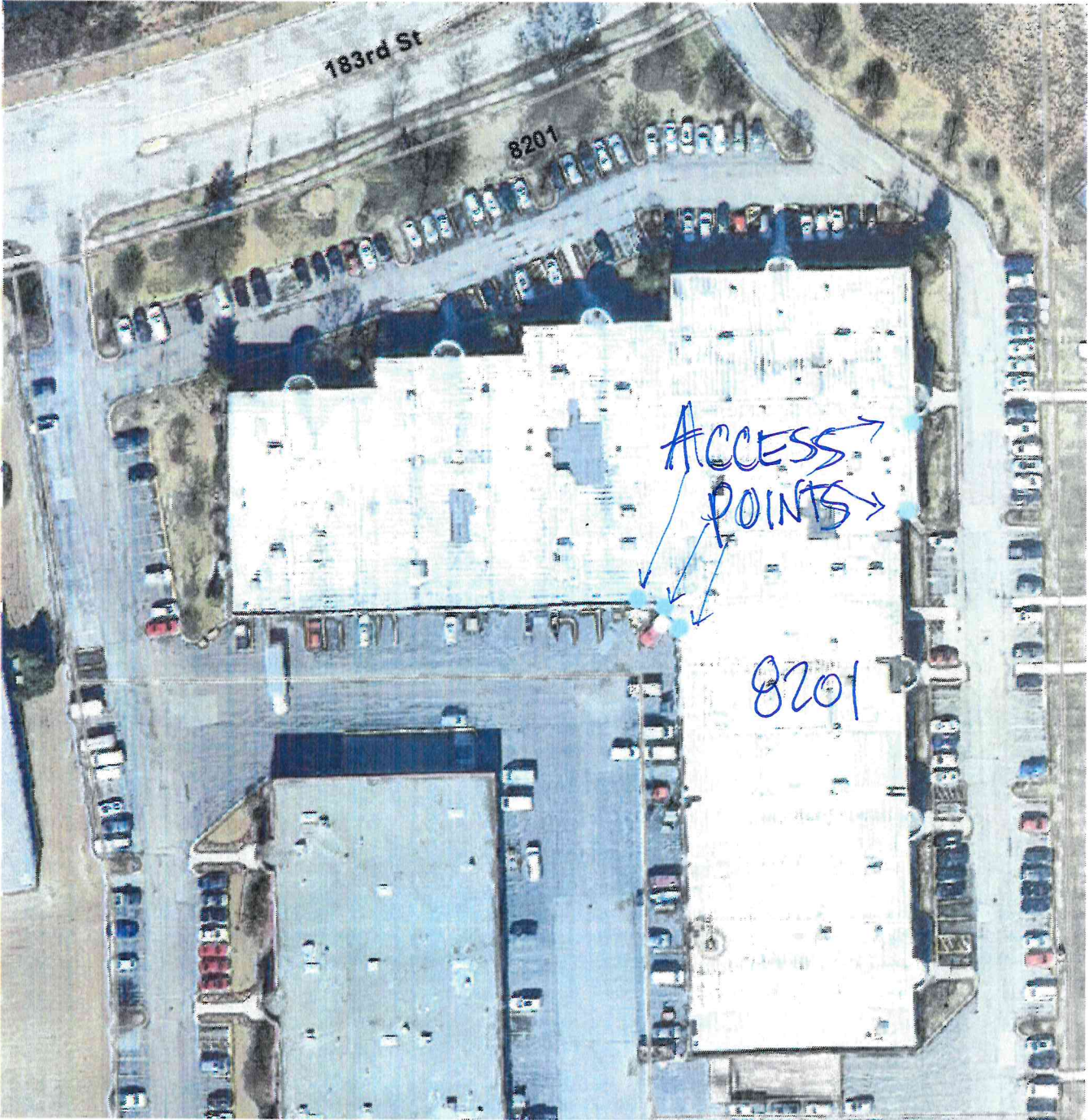
F. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.

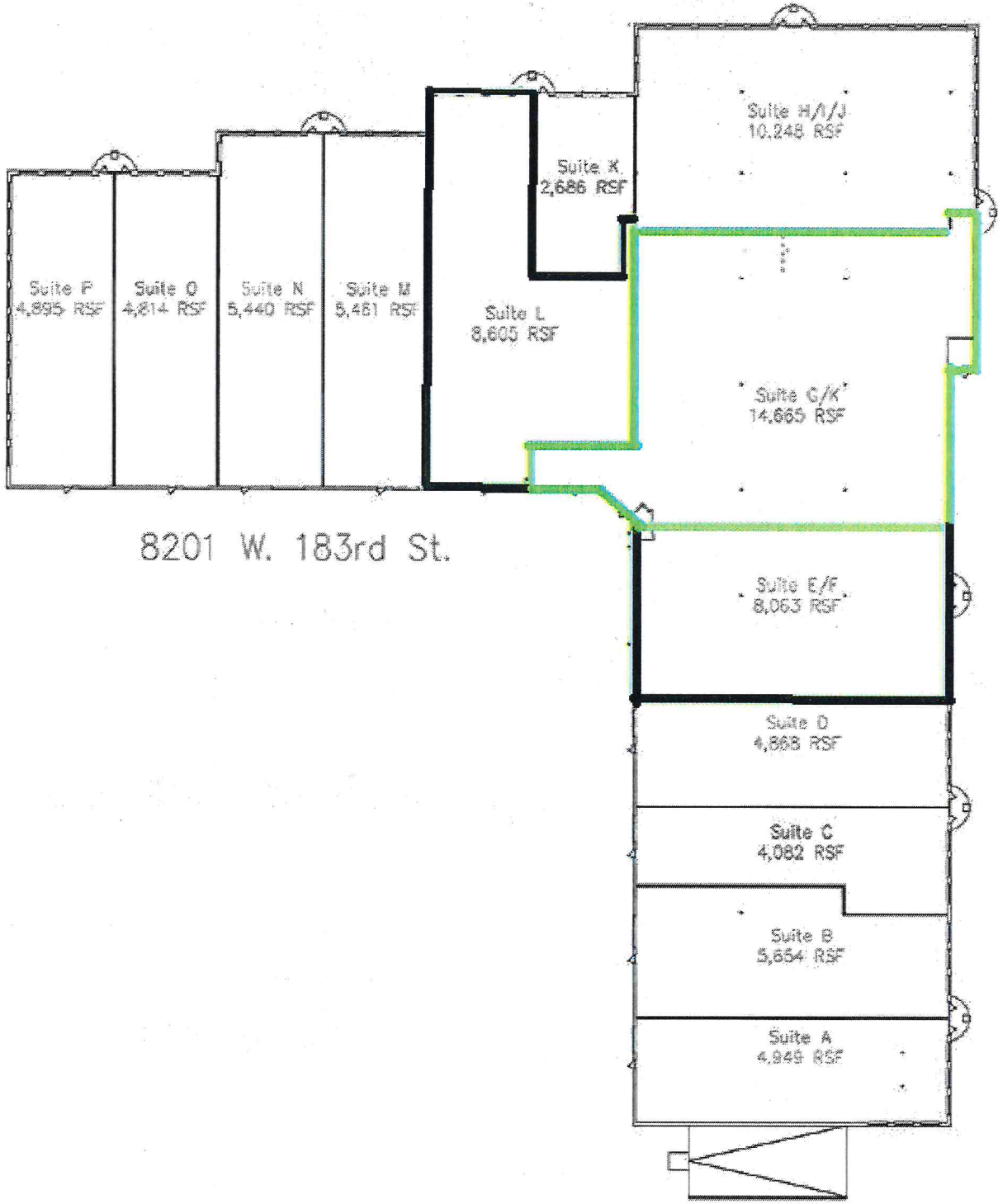
All requests conform to normal business use.

G. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.

This facility will provide direct positive impact to the community in terms of 12-24 visitors weekly from locations outside of Tinley Park. This will provide revenue and tax dollars through local hotels, restaurants, stores, gas stations and entertainment venues.



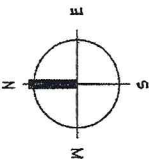
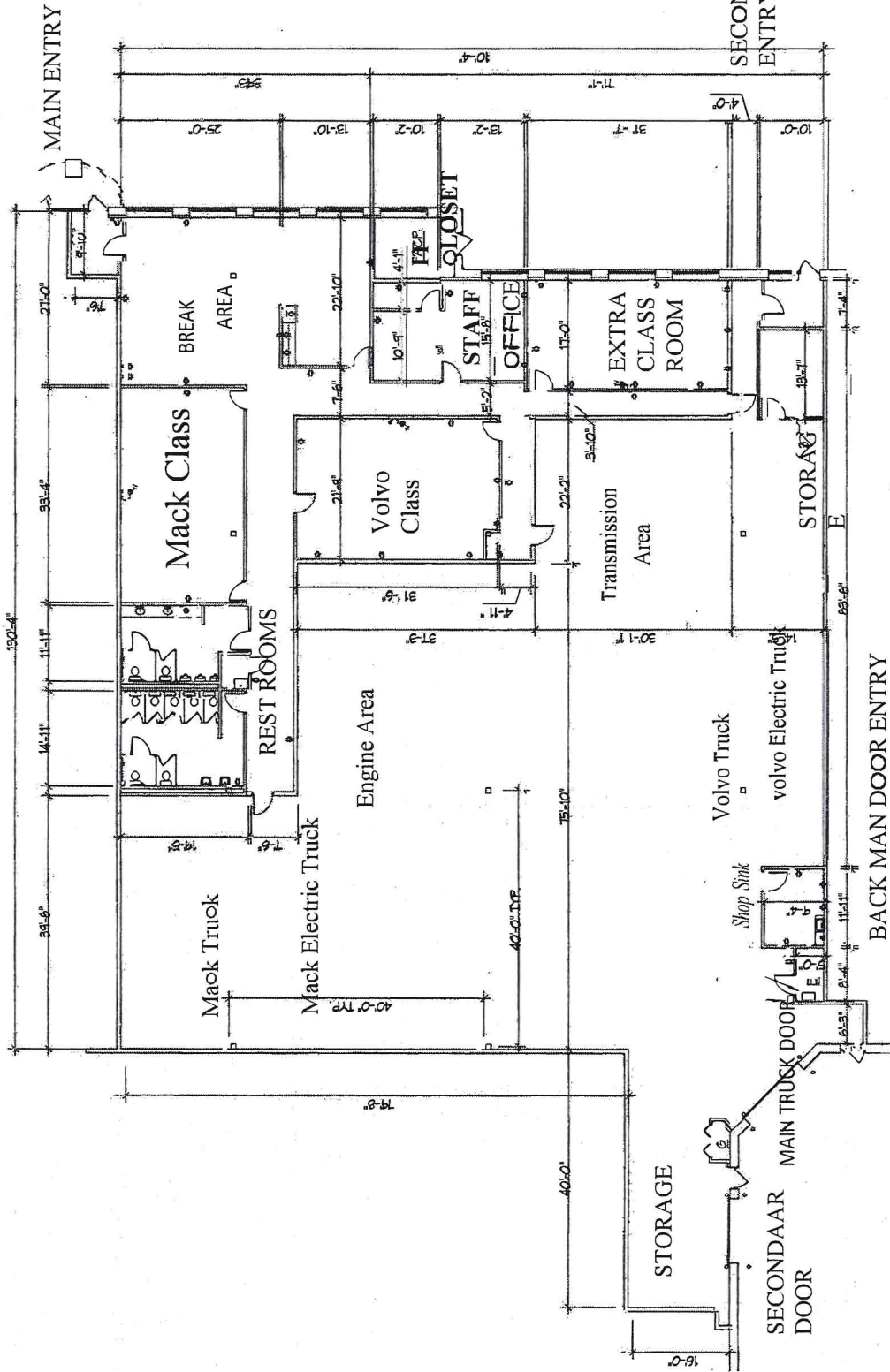




MARC E MEYERS, ARCHITECT
 1010 Grayhawk Dr. Algonquin, IL
 847-354-8430
 marcmeyers@gmail.com

Existing Cond itions
Volvo
 8 201 W. 18 3rd Street, Suite G

A-1.0
 OF ONE
 10-26-2021



01 EXIST. FLOOR PLAN
 A-1.0 SCALE: 1/16" = 1'-0"

PLAN COMMISSION STAFF REPORT

February 17, 2022 – Public Hearing

RJ's Seafood Building Addition and Patio

18201 Harlem Avenue

Petitioner

Scott Harris, on behalf of
RJ's Seafood LLC

Property Location

18201 Harlem Avenue

PIN

28-31-306-046-0000

Zoning

B-4 PUD (Office & Service
Business, Cornerstone
Centre PUD)

Approvals Sought

Special Use Permit
Site Plan Approval



EXECUTIVE SUMMARY

RJ's Seafood LLC is part of the Francesca's Restaurant Group, and requesting a Special Use Permit and Site Plan/Architecture Approval for a building addition as part of their new restaurant. RJ's Seafood is new restaurant tenant will be occupying a portion of the existing Cornerstone Centre building at 18201 Harlem Avenue, formally occupied by the Tin Fish restaurant.

As part of their occupancy, the Petitioner is proposing a 525 sq. ft. building addition with a patio for outdoor dining and other site improvements to the north and west of the existing tenant space. In order to accommodate the addition, the applicant proposes to remove the existing dumpster enclosure, a shed, and a paved loading area. The building addition will provide additional interior space for a walk-in cooler and trash holding area.

The property is within the Cornerstone Centre Planned Unit Development (PUD) and consists of three lots within the Urban Design Overlay District. The northern lot contains the building with the subject site, and is zoned B-4 PD. The rest of the development is zoned B-3 PD. Due to its location in a PUD, any increase in building density must be approved by a substantial deviation. Additionally, Exceptions to the Zoning Ordinance are being requested as part of the Substantial Deviation.

Changes from the February 3, 2022 Plan Commission workshop are indicated in **Red**.

Project Planner

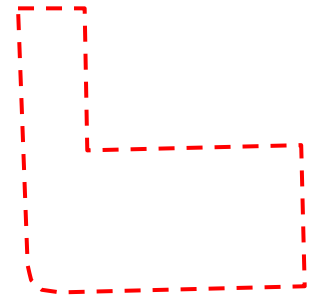
Lori Kosmatka
Associate Planner

EXISTING SITE & HISTORY

The proposed work is within the Cornerstone Centre Planned Unit Development (PUD) at the northeast corner of Harlem Avenue and 183rd Street. The PUD consists of two rectangular multi-tenant buildings and an outlot building. The existing tenant space, previously occupied by Tin Fish Restaurant, is at the north end of the northern building facing Harlem Avenue. In addition to centralized access points off Harlem Avenue and 183rd Street, there is a drive aisle access on 182nd Street.

Between the northern building and 182nd Street is a trash enclosure and shed with a block wall. The ground includes a curbed concrete walk abutting the building, uncurbed concrete pavement accessing the trash enclosure, and a strip of landscaping going beyond the north property line to the sidewalk on 182nd Street. There is a 10-foot public utility easement along the northern and eastern property lines. The rear (east) of the building is within the easement and has a partial mulch groundcover.

There is a high occupancy and a considerable amount of active uses on the development. In addition to the proposed restaurant, the northern building's tenants include a physical therapy business and an AT&T store. The southern building has several tenants including Stacks Breakfast Brunch & Lunch, Mr. Riko Loko Dessert Bar, 350 Brewing Co., Runa Izakaya, Al's Beef, and other service-related uses. Currently, the development has three trash enclosures shared between all of the tenants. A separately owned bank outlot also exists that is currently unoccupied. The bank site has a cross access and cross-parking agreement with the overall center but has its own trash enclosure.



Aerial Location Map of 18201 Harlem Ave.



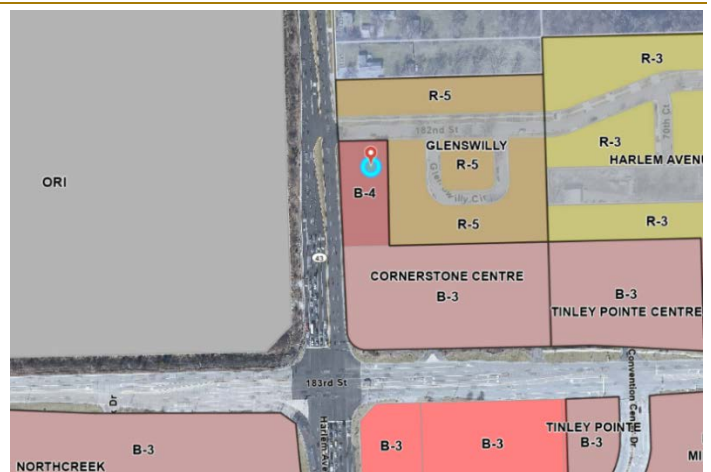
Looking at northwest corner of existing tenant space

ZONING & NEARBY LAND USES

The Cornerstone Centre Planned Unit Development (PUD) consists of three lots. The PUD was adopted in 1998. The northern lot contains the building with the subject site, and is zoned B-4 PD. The southern lot and outlot are zoned B-3 PD. The property is also within the Urban Design Overlay District but is not applicable as an existing developed site.

The surrounding area includes residences that abut the development's "L" shape, including the north side of 182nd Street, and to the rear (east) of the northern building.

The Zoning Ordinance identifies the B-4 Office and Service Business Zoning District use as "normally small in size, and



Zoning Map

is intended to serve as a buffer or transition between residential and commercial areas". The B-4 uses are "primarily to provide office space for service-type businesses". The B-4 zoning at the northern building was specifically designated in this development due to its reduced rear yard setback and close proximity to residential homes to the north and east. The B-4 district limits the intensity of use as it is within close proximity to residences, compared to the B-3 zoning district. As part of the PUD drive-thru restaurants were prohibited overall in the development.

SPECIAL USE FOR SUBSTANTIAL DEVIATION TO THE PUD / ZONING EXCEPTION

The Petitioner proposes site improvements for RJ's Seafood, a new concept restaurant within the Francesca's Restaurant Group. Specifically, a building addition was needed to house a new cooler and storage area for trash. Per Section VII.B.6. of the Zoning Ordinance, this project is considered a Substantial Deviation from the approved Planned Unit Development due to an increase in building density, changes to the site plan, and further reduction in zoning ordinances required setbacks. A Substantial Deviation requires approval of a Special Use. The proposal includes an increased encroachment into the 50-foot front yard setback which deviates from the Village's Zoning Ordinance code requirements. Deviations from Village's Zoning Ordinance are considered Exceptions rather than Variations when located within a PUD and do not require the standard Findings of Fact, as required with a Variation. Alternatively, Exceptions are looked at in terms of their conformance to their overall PUD's design and goals.

PROPOSED USE

RJ's Seafood Restaurant will be a full-service, sit-down seafood-oriented restaurant. RJ's Seafood is the latest concept, operated by Francesca's Restaurants Group. Francesca's Restaurant Group, founded in 1992 by restaurateur Scott Harris, currently has six concepts across 23 locations and two states. These include 14 Francesca's Restaurants, 2 Davanti Enoteca, 4 Fat Rosie's Taco & Tequila Bar, Disotto, Joe's Imports, and Vasili's.

The applicant proposes a building addition with a patio and other site improvements to the north and west of the existing tenant space. The Petitioner will replace an existing dumpster enclosure and shed adjacent to the walkway surrounding the northern building with a building addition and a permanent outdoor trellised concrete patio. The building addition will have a set of double doors facing Harlem, and the north face of the existing building will be modified to have a Nanawall operable partition system with an air curtain leading to the patio. The building addition will house a walk-in cooler, enclosed trash holding area, ice bins, and a POS station. The concrete patio will be filled in to be flush with the building's walkway. New permanent planters and a 9-inch concrete barrier curb would provide additional protection for patio occupants from the drive aisle. A new solid wood fence and landscaping are proposed to help mitigate and/or avoid potential noise or visibility issues from the patio to the neighboring residences to the north.

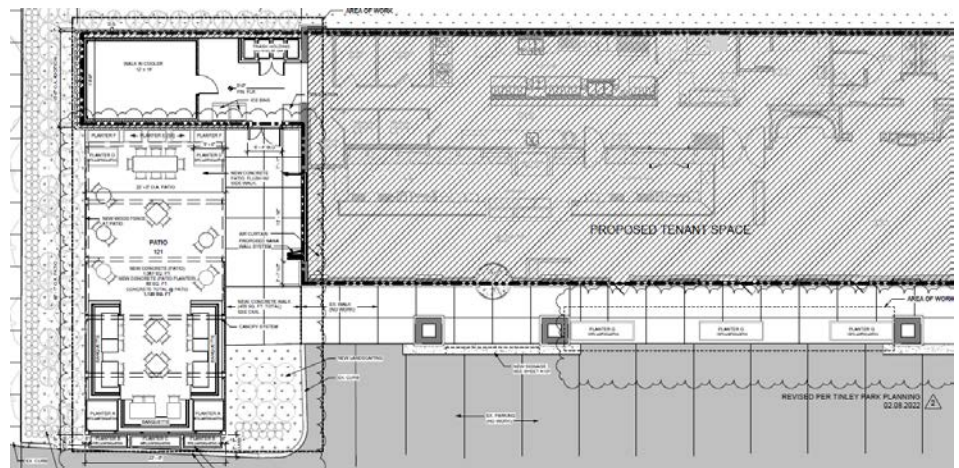
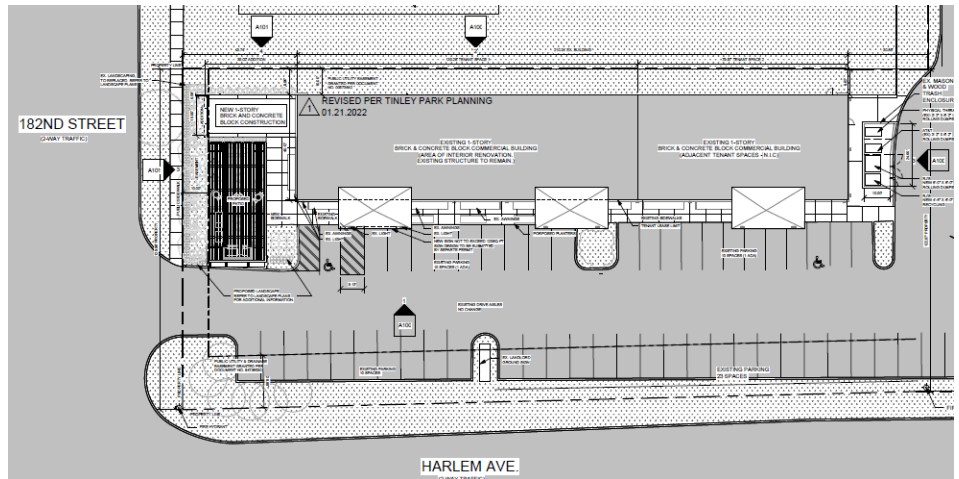
SITE PLAN

The applicant has provided overall and detail site plans which indicate the areas of work at the north end of the building facing 182nd Street. The 525 sq. ft. building addition (35'x15") and 1120 sq. ft. concrete patio (22'-0" x angled 50'-6" to 51'-6") will be between the building's north surrounding walkway. It is positioned to be setback 10 feet from the north property line. The concrete patio includes open seating and banquette within the trellis, as well as a 62 sq. ft. planter area outside the trellis. The rear (east) wall of the addition will be flush with the existing building. Between the patio's west edge and drive aisle there will be permanent fiber glass reinforced planters and a 9-inch concrete barrier curb. More permanent planters are proposed at the addition's west wall (sizes vary) and on the inside corners of the patio's trellis. Also, three large planters are proposed further south on the building's west (front) surrounding walkway. Fencing is proposed around the north, west, and part of the south sides of the patio.

The Petitioner has provided civil engineering drawings for the site improvements, and has submitted the proposal to MWRD for determination on whether an MWRD permit will be required or not. MWRD may need to consider the current site improvements along with previous ones cumulatively for the entire development. The Petitioner's civil engineer notes an MWRD application will be provided upon determination of involvement from the District. Staff is recommending that the site plan approval be conditioned upon final engineering and Building Department review and approval.

Following the workshop, the Petitioner confirmed the square footage of the improvements. The building addition will be 525 sq. ft., and total new concrete patio area will be 1,120 sq. ft. The scope of work will also include replacing the existing 403 sq. ft. concrete sidewalk immediately between the existing building and the proposed patio.

The Petitioner also supplied a letter to the Village from MWRD stating that a MWRD WMO permit is not required for the redevelopment at this time.



Site Plan (Overall & Detail)

Open Item #1: Confirm and note the square footage of building addition and concrete patio on the site plan.

Open Item #2: Staff is recommending the site plan approval be conditioned upon final engineering and Building Department review and approval.

WASTE MANAGEMENT

Part of the Petitioner's proposal involves removing an existing trash enclosure to accommodate the building addition and patio. This will reduce the development's shared enclosures from three to two. The property owner and manager of Cornerstone Centre has noted it is difficult to monitor individual tenant trash services and receptacle placement, which has led to issues keeping all dumpsters within the enclosures. To avoid continued issues and due to the proposed reduction in enclosure space, the property owner has worked to have all tenants under one contract with a single waste hauling company. Homewood Disposal Services was chosen and has agreed to monitor waste removal and to reduce, share, and label receptacles. They have noted they can increase service frequency as needed for the entire three building development. The property owner notes that Homewood Disposal will provide room for a grease container as well as trash and recycling for RJ's Seafood Restaurant. The two remaining trash enclosures are at the south end of the northern building, and northeast of the southern building. The trash at RJ's Seafood will be held in the addition, and an employee will walk it nightly to the dumpster at the south end of the northern building.

The shopping center's two shared trash enclosures are only likely to work in this proposed situation of a single uniform trash hauler contract that is managed by the property owner. Staff is recommending a condition of approval on the PUD Deviation that requires all dumpsters and grease containers be stored in enclosures per village code requirements and that the property owner manages a single contract that shares the two enclosures with all tenants. This will ensure the proposed situation is maintain in the future and by future property owners.

At the Plan Commission Workshop, the property owner noted that multiple new contracts by tenants are now in place with a single waste hauler, Homewood Disposal. Staff notes that if, however one hauler manages directly with the property owner in a single contract rather than separate, multiple contracts, trash can be more easily maintained through changes in property ownership, more easily change service frequency, and logistically ensure that all receptacles will fit into the limited space of the two enclosures. At the workshop meeting, the petitioner noted most of the dumpsters were enclosed with only 1 or 2 dumpsters from other waste haulers that needed to be moved. On February 10, 2022, the property owner noted that all the dumpsters were fully enclosed.

At the Workshop Commissioners noted concerns with the distance for restaurant staff to transport trash from the trash holding area to the south dumpster. The Commission raised a concern of trash and grease potentially leaking onto the main walkway that is used by the public and other tenants. Following the Workshop, staff measured the distance as approximately 265 feet.

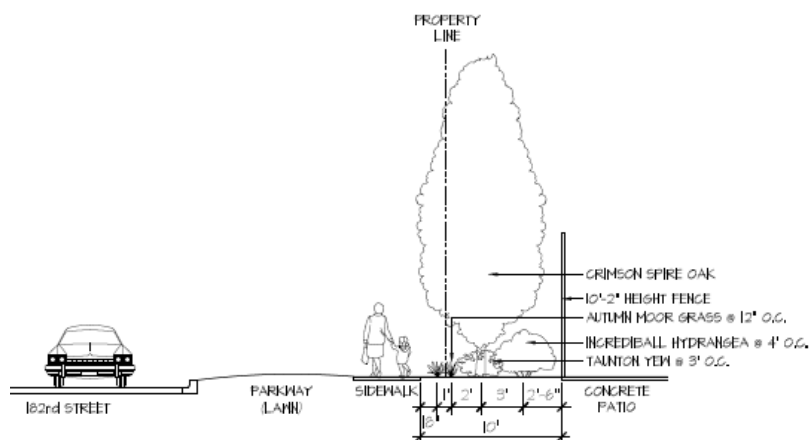
To ensure the unique trash situation is maintained and monitored on the site going forward, staff recommends the following conditions relating to waste management be placed on the Site Plan and Substantial Deviation approvals:

- All current and future trash, recycling, and grease containers on the Cornerstone Centre development will continue to be fully enclosed in the two existing enclosures, effective immediately.
- All waste for the Cornerstone Centre development will be on a single contract managed by the property owner by December 31, 2022.
- The path from the trash holding area to the trash enclosure shall be properly maintained on a regular basis and shall remain clean and free of grease/garbage at all times.

Open Item #3: Discuss the removal of the development's northernmost trash enclosure and staff's recommended conditions related to the requirements that the property owner manages a single waste hauler contract on the property.

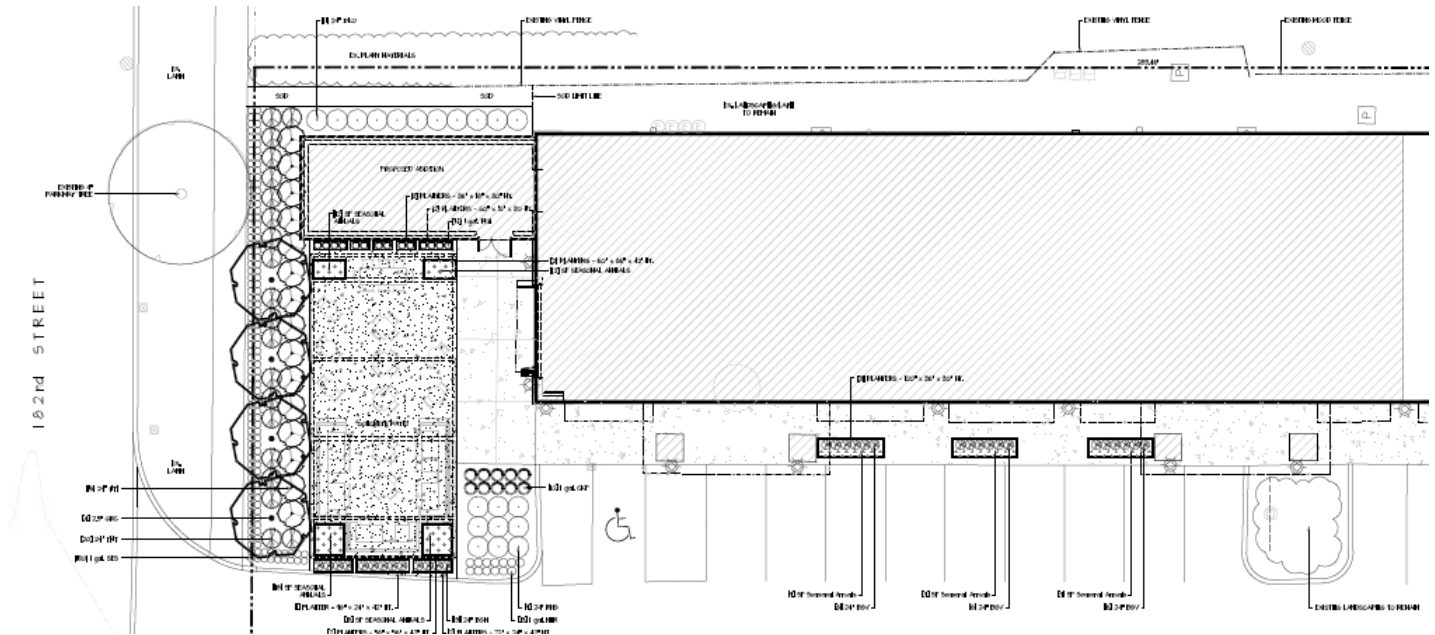
LANDSCAPING

The Petitioner proposes landscaping to help screen the new patio area and add beautification to the site. New landscaping is proposed at the north to help screen the patio area from the residences across 182nd Street which are in close proximity to the site. The three overgrown evergreens will be removed, and replaced with four crimson spire oak trees north of the patio area as well as numerous plantings which provide full branching to the ground (yews and hydrangeas). Autumn moor grass is also provided. The oaks are deciduous, but when in season, they will provide additional buffering to the fence wall also included in the proposal. The fence wall will along the north side of the property will be solid cedar in a dark walnut finish, 10'-2" in height, up to the louvered trellis. The oaks, yews, hydrangeas, and autumn moor grass work in combination with the fence wall.



Section of North Landscaping Detail, Looking East

The building addition will receive foundational plantings, which will be visible from the right-of-way since the addition will only be ten feet from the property line (approximately 12 feet from the sidewalk). The yews and hydrangeas will be on the north side, and the rear (west) will have a line of several bushes also branching to the ground. The addition's west side will have planters containing piglet dwarf fountain grass, which appears as a green wall on the rendering. Between the proposed patio and parking, the 3 burning bushes will be removed and replaced with several containers of feather reed grass and daylilies with gro-low sumacs. The proposed planters between the patio's west edge and drive aisle will have green mountain boxwood. Similarly, the three large walkway planters west of the existing tenant space will have green velvet boxwoods.



Landscape Plan

Overall the proposed landscaping changes are design to keep an attractive looking site within a limited area. Additionally, the landscaping has been designed to help buffer views and noise to the patio form neighboring residential properties.

The Plan Commission discussed the proposed screening at the Workshop. The Commission expressed concern that if another restaurant or entity occupies the space, that the screening might be taken down. Staff noted that while it would remain a requirement, the approval could add a condition to clarify when the patio is occupied, then the screening of landscaping and fencing are to remain as approved. The Commission asked if the Petitioner plans to have live entertainment which could be a noise concern for nearby residents. The Petitioner responded that they do not currently have plans for live entertainment. The Commission noted the potential for live entertainment might go along with the Village's music branding. Consideration of live entertainment was discussed as such as smaller outdoor performances or possibly indoors near the proposed Nanawall operable door partition. If they decided to have music in the future, they will need to consult with staff about noise ordinances.

The piglet dwarf fountain grass proposed in the planters on the addition's west wall was clarified to have a mature size of 12-18 inches high by 18-24 inches wide.

Open Item #4: Discuss the proposed screening (landscaping and fencing) from the nearby residences.

Open Item #5: Discuss height of piglet dwarf fountain grass on the addition's west wall.

ARCHITECTURE

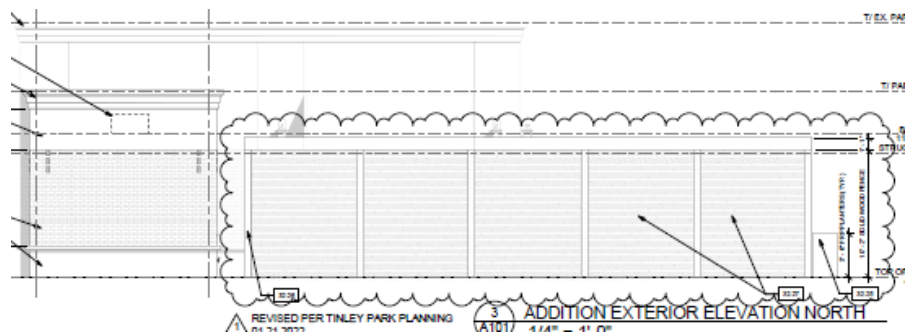


Proposed Rendering Looking East

The addition's materials are proposed to match the existing building. The existing building is mostly a combination of brick and painted stucco, topped with a cornice. The existing base is split face CMU, separated below the brick with a horizontal band. The existing building also has awnings and light fixtures with a set of three small stone decorative rectangular elements below. The addition will be very similar to the existing building, with materials arranged to visually match and align. Materials will include the cornice and stucco to match existing, brick (Hebron, Brandywine color), and a stone base (Readingrock, Rockface/chiseled finish, Crème Buff color) with a horizontal band. The colors appear similar to existing building. The addition includes the three decorative rectangular elements, two sets on the north façade, and one set on the rear (east) facade. The west (rear) façade will have a roof scupper with combined overflow box and downspout. The scupper and downspout are similar to the other tenants further south along that façade of the existing building. The addition will have a set of hollow metal double doors on the west façade, facing Harlem Avenue. The addition will be 15' high, which is inclusive of a deep parapet which will conceal the addition's new rooftop condenser unit, as shown dashed in on the exterior elevations. The existing building is 20'-6" high.



Existing (L), Proposed (R)



Northeast rendering (L), North elevation (R)

The proposed fence will be solid privacy-style cedar in a dark walnut finish. The north fence will be a 10'-2" wall above the finish surface at the patio, whereas the west and south sides will be 52" high to help open up the patio. The height of the solid fence wall is substantial. The trellis over the patio will be a louvered canopy in a black finish to

match the awnings. The patio will include an open seating and a banquette. Light fixtures are proposed on the trellis posts and beams.

Several planters are proposed around the tenant space. The patio area will have permanent FRP fiberglass reinforced in a black color. Between the patio's west edge and drive aisle there will be 3'-6" tall black planters. The drawings identify two smaller planters flanking a larger one. The west elevation (sheet A101) incorrectly shows them as 2'-6". Five permanent planters are proposed at the addition's west wall (sizes vary). Four planters are also on the inside corners of the patio's trellis.

The Petitioner has not yet identified the final specifications of the three large walkway planters west of the existing tenant space, but has provided a manufacturer's specification sheet showing available options. The Petitioner notes the final color will be based on having material samples from the manufacturer to allow all parties to select a finish in line with the existing building façade. The samples have been ordered. Staff has noted that these walkway planters, which will require permit review, should have material equal to or complementing the existing brick/stone materials, and that potential future additional planters throughout the Cornerstone Centre development should be in the same style with general availability. Consultation should be made with the property owner on this. Staff suggests the planters be removable if tenant spaces break up in the future.

Two of the existing building's three existing light fixtures on the north façade will remain. The easternmost light fixture will be removed to accommodate the building addition.

The existing building's north façade will be modified to have a Nanawall operable partition system in aluminum and glass, with a finish matching the building's existing storefront systems, which are a reddish brown. It will replace the existing single door with flanking windows. The existing black awning will remain.

There is some variety of color and design from the proposal to the existing building. Though the Nanawall partition framing and the building addition (stucco, brick, and stone) will be similar to the existing building, the patio's planters and trellis are proposed black, and the fence's color is a dark walnut (likely darker than the renderings portray). The black will be similar to the existing building's black awnings, but the visual effect of the color should be considered given the scale of trellis, fencing, and planters.

At the Plan Commission Workshop, the Commissioners provided positive feedback on the design and aesthetics of the proposal. It was noted that the colors of the trellis, planters, and fence provide a nice contrast to the existing building, while the addition will be similar to the existing building.

Following the Workshop, the Petitioner confirmed and corrected the heights of the patio planters as 42". The Petitioner also provided a planter schedule to help clarify the planter sizes. The Petitioner noted the architectural team is still working through the final specification of the three large walkway planters as the samples they recently received from the manufacturer did not meet expectations.

Staff recommends a condition that the three large walkway planters proposed on the walkway west of the existing tenant space shall be equal or complementary to the existing building's materials, and that potential additional walkway planters in the Cornerstone Centre development will be in the same style. Staff also recommends noting in the condition that these planters will require approval by the property owner, and is subject to staff building permit review and approval.

~~Open Item #6: Discuss the architectural compatibility (color, aesthetics, etc.) among the proposed site improvements (addition, patio, fencing with trellis, planters) and the existing building. Consider the height of the north fence wall.~~

~~Open Item #7: Confirm/correct heights of patio planters on the drawings.~~

Open Item #8: Discuss the design and permanence of three large walkway planters west of the existing tenant space in relation to potential additional planters throughout the development.

LIGHTING

Two types of light fixtures are proposed in the trellis which include eight wall sconces on the posts and 12 surface ceiling downlights on the beams. The fixtures do not have up-lighting or sag lenses which meet the Zoning Ordinances code requirement prohibiting sag lenses. The downcast nature avoids offsite glare from occurring when the light source is visible.

The photometric plan shows the north curb as zero-foot candles, and no higher than 0.10-foot candles around the north property line. The proposal meets the Zoning Ordinance's code requirement of maximum 0.10-foot candles at the property line from nonresidential to residential properties.

SIGNAGE AND PARKING

An illuminated wall sign is proposed on the west entry of the existing tenant space. The signage will be 40 square feet (14'-0" x 2'-9 1/2"), halo lit, with dark blue steel letters in the Bernound font. The sign plan was amended in 2019 to remove previous requirements for sign type, style, color, and font and matches the zoning ordinance requirements for wall signage. The existing ground signs will be utilized with new tenant panels and no changes to the structures. The proposed signs comply the Sign Plan and Zoning ordinance requirements.



Proposed Wall Signage

STANDARDS FOR A SPECIAL USE

Section X.J.5. of the Zoning Ordinance lists standards that need to be considered by the Plan Commission. The Plan Commission is encouraged to consider these standards (listed below) when analyzing a Special Use request. Staff will provide draft Findings in the Staff Report for the Public Hearing.

X.J.5. Standards: No Special Use shall be recommended by the Plan Commission unless said Commission shall find:

- a. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare;
 - ***The proposed Exceptions are safe for the public, employees, and neighboring properties.***
- b. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood;
 - ***The site modifications allow for more use of the property by a restaurant tenant without any significant changes to the development's overall site plan. The combined landscaping and fence wall screening and the building addition will help buffer the impacts of the proposed use from the residents.***
- c. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district;
 - ***Neighboring properties are already developed and the proposal will not negatively affect any future development or redevelopment of the neighboring properties***
- d. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided;
 - ***The existing site has already been developed with adequate utilities and access roads, drainage, and other necessary facilities.***
- e. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
 - ***The site layout allows for safe circulation for customers, employees, delivery trucks, and the general public. The restaurant will schedule deliveries in the mornings so as to not conflict with circulation for other businesses.***
- f. That the Special Use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission. The Village Board shall impose such conditions and restrictions upon the premises benefited by a Special Use Permit as may be necessary to ensure compliance with the above standards, to reduce or minimize the effect of such permit upon other properties in the neighborhood, and to better carry out the general intent of this Ordinance. Failure to comply with such conditions or restrictions shall constitute a violation of this Ordinance.
 - ***All other Village code requirements will be met. Dumpsters will be kept in the two enclosures under a unified contract managed by the property owner to ensure the site remains in compliance with enclosure requirements.***
- g. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.
 - ***The site modifications allow for a more inviting and attractive restaurant space for the public. The improvements will benefit the current and any future tenants.***

STANDARDS FOR SITE PLAN APPROVAL

Section III.T.2. of the Zoning Ordinance requires that the conditions listed below must be met and reviewed for Site Plan approval. Specific findings are not required but all standards shall be considered to have been met upon review from the Plan Commission.

Architectural

- a. **Building Materials:** The size of the structure will dictate the required building materials (Section V.C. Supplementary District Regulations). Where tilt-up or pre-cast masonry walls (with face or thin brick inlay) are allowed vertical articulation, features are encouraged to mask the joint lines. Concrete panels must incorporate architectural finishes that comply with “Building Articulation” (Section III.U.5.h.) standards. Cast in place concrete may be used as an accent alternate building material (no greater than 15% per façade) provided there is sufficient articulation and detail to diminish it’s the appearance if used on large, blank walls.
- b. **Cohesive Building Design:** Buildings must be built with approved materials and provide architectural interest on all sides of the structure. Whatever an architectural style is chosen, a consistent style of architectural composition and building materials are to be applied on all building facades.
- c. **Compatible Architecture:** All construction, whether it be new or part of an addition or renovation of an existing structure, must be compatible with the character of the site, adjacent structures and streetscape. Avoid architecture or building materials that significantly diverge from adjacent architecture. Maintain the rhythm of the block in terms of scale, massing and setback. Where a development includes outlots they shall be designed with compatible consistent architecture with the primary building(s). Site lighting, landscaping and architecture shall reflect a consistent design statement throughout the development.
- d. **Color:** Color choices shall consider the context of the surrounding area and shall not be used for purposes of “attention getting” or branding of the proposed use. Color choices shall be harmonious with the surrounding buildings; excessively bright or brilliant colors are to be avoided except to be used on a minor scale for accents.
- e. **Sustainable architectural design:** The overall design must meet the needs of the current use without compromising the ability of future uses. Do not let the current use dictate an architecture so unique that it limits its potential for other uses (i.e. Medieval Times).
- f. **Defined Entry:** Entrance shall be readily identifiable from public right-of-way or parking fields. The entry can be clearly defined by using unique architecture, a canopy, overhang or some other type of weather protection, some form of roof element or enhanced landscaping.
- g. **Roof:** For buildings 10,000 sf or less a pitched roof is required or a parapet that extends the full exterior of the building. For buildings with a continuous roof line of 100 feet or more, a change of at least five feet in height must be made for every 75 feet.
- h. **Building Articulation:** Large expanses of walls void of color, material or texture variation are to be avoided. The use of material and color changes, articulation of details around doors, windows, plate lines, the provision of architectural details such as “belly-bands” (decorative cladding that runs horizontally around the building), the use of recessed design elements, exposed expansion joints, reveals, change in texture, or other methods of visual relief are encouraged as a means to minimize the oppressiveness of large expanses of walls and break down the overall scale of the building into intermediate scaled parts. On commercial buildings, facades greater than 100 feet must include some form of articulation of the façade through the use of recesses or projections of at least 6 inches for at least 20% of the length of the façade. For industrial buildings efforts to break up the long façade shall be accomplished through a change in building material, color or vertical breaks of three feet or more every 250 feet.
- i. **Screen Mechanicals:** All mechanical devices shall be screened from all public views.
- j. **Trash Enclosures:** Trash enclosures must be screened on three sides by a masonry wall consistent with the architecture and building material of the building it serves. Gates must be kept closed at all times and constructed of a durable material such as wood or steel. They shall not be located in the front or corner side yard and shall be set behind the front building façade.

Site Design

- a. Building/parking location: Buildings shall be located in a position of prominence with parking located to the rear or side of the main structure when possible. Parking areas shall be designed so as to provide continuous circulation avoiding dead-end parking aisles. Drive-through facilities shall be located to the rear or side of the structure and not dominate the aesthetics of the building. Architecture for canopies of drive-through areas shall be consistent with the architecture of the main structure.
- b. Loading Areas: Loading docks shall be located at the rear or side of buildings whenever possible and screened from view from public rights-of-way.
- c. Outdoor Storage: Outdoor storage areas shall be located at the rear of the site in accordance with Section III.O.1. (Open Storage). No open storage is allowed in front or corner side yards and are not permitted to occupy areas designated for parking, driveways or walkways.
- d. Interior Circulation: Shared parking and cross access easements are encouraged with adjacent properties of similar use. Where possible visitor/employee traffic shall be separate from truck or equipment traffic.
- e. Pedestrian Access: Public and interior sidewalks shall be provided to encourage pedestrian traffic. Bicycle use shall be encouraged by providing dedicated bikeways and parking. Where pedestrians or bicycles must cross vehicle pathways a cross walk shall be provided that is distinguished by a different pavement material or color.

MOTIONS TO CONSIDER

If the Plan Commission wishes to act on the Petitioner's requests, the appropriate wording of the motions are listed below. The protocol for the writing of a motion is to write it in the affirmative so that a positive or negative recommendation correlates to the Petitioner's proposal. By making a motion, it does not indicate a specific recommendation in support or against the plan, it only moves the request to a vote. The conditions listed below are recommended by staff but can be added to, changed, or removed by the Commission based on their discussion of the approval of recommendation.

Motion 1 (Special Use for a Substantial Deviation):

"...make a motion to recommend that the Village Board grant a Special Use Permit for a Substantial Deviation from the Cornerstone Centre PUD to Scott Harris, on behalf of RJ's Seafood LLC, to permit site modifications including the construction of a building addition and restaurant patio at 18201 Harlem Avenue in the B-4 PD (Office and Service Business, Cornerstone Centre PUD) zoning district, in accordance with the plans submitted and adopt Findings of Fact as proposed in the February 17, 2022 Staff Report, subject to the following conditions:

- 1. All current and future trash, recycling, and grease containers on the Cornerstone Centre development will continue to be fully enclosed in the two existing enclosures, effective immediately.*
- 2. All waste for the Cornerstone Centre development will be on a single contract managed by the property owner by December 31, 2022.*
- 3. The path from the trash holding area to the trash enclosure shall be properly maintained on a regular basis and shall remain clean and free of grease/garbage at all times."*

Motion 2 (Site Plan and Architectural Approval):

"...make a motion to grant Scott Harris on behalf of RJ's Seafood LLC, Final Site Plan and Architectural Approval to permit site modifications including the construction of a building addition and restaurant patio at 18201 Harlem Avenue in the B-4 PD (Office and Service Business, Cornerstone Centre PUD) zoning district, in accordance with the plans submitted as referenced in the February 17, 2022 Staff Report and subject to the following conditions:

- 1. Site Plan Approval is subject to the approval of the Special Use for a Substantial Deviation from the PUD by the Village Board.*
- 2. Site Plan Approval is subject to final engineering and building department approvals.*
- 3. When the patio will be occupied then the screening of landscaping and fencing are to remain as approved.*
- 4. All current and future trash, recycling, and grease containers on the Cornerstone Centre development will continue to be fully enclosed in the two existing enclosures, effective immediately.*
- 5. All waste for the Cornerstone Centre development will be on a single contract managed by the property owner by December 31, 2022.*
- 6. The path from the trash holding area to the trash enclosure shall be properly maintained on a regular basis and shall remain clean and free of grease/garbage at all times.*
- 7. The three large walkway planters proposed on the walkway west of the existing tenant space shall be equal or complementary to the existing building's materials, and that potential additional walkway planters in the Cornerstone Center development will be in the same style. These planters will require approval by the property owner, and is subject to Village staff building permit review and approval, including Planning, Building, Fire, and Engineering Departments.*

LIST OF REVIEWED PLANS

Submitted Sheet Name	Prepared By	Date On Sheet
Application (Redacted)	Petitioner	8/31/21
RJ's Seafood Business Plan Presentation	FRG	n/a
2013 ALTA/ACSM Survey of Cornerstone Centre Development	Tech3 per FCS	6/2013
Narrative	FCS	n/a
Architectural Drawings	FCS	2/8/22
Civil Plans	EVA	2/8/22
Condensing Unit Spec at Addition	Manufacturer per FCS	n/a
Landscape Plan	PS	1/21/22
Planter Spec at Patio	Manufacturer per FCS	n/a
Photometric Plan at Patio	KSA	1/12/22
Lighting Spec – Patio L12 Luminis Light	Manufacturer per FCS	n/a
Lighting Spec – Patio L13 Bowman Light	Manufacturer per FCS	n/a
Landlord Letter Regarding Waste	Property Owner	1/24/22
Waste and Grease Removal Plan	Property Owner	n/a

FRG = Francesca's Restaurant Group

Tech3 = Tech3 Consulting Group

FCS = FC Studio

EVA = EVA Design and Engineering

PS = Pamelaself Landscape Architecture

KSA = KSA Lighting & Controls

PL. 2021-09-00338



Village of Tinley Park
Community Development Dept
11250 S. Oak Park Ave
Tinley Park, IL 60477
(708) 211-5100

VILLAGE OF TINLEY PARK, ILLINOIS
PLANNING AND ZONING GENERAL APPLICATION

REQUEST INFORMATION

*Additional Information is Required for Specific Requests as Outlined in Specific Addendums

- Special Use for: building addition
- Planned Unit Development (PUD) Concept Preliminary Final Deviation
- Variation Residential Commercial for _____
- Annexation
- Rezoning (Map Amendment) From _____ to _____
- Plat (Subdivision, Consolidation, Public Easement) Preliminary Final
- Site Plan
- Landscape Change Approval
- Other: _____

PROJECT & PROPERTY INFORMATION

Project Name: RJ's Seafood Co.

Project Description: building addition

Project Address: 18201 N. Harlem Ave Property Index No. (PIN): 28-31-306-045-0000, 28-31-

Zoning District: B-4 Lot Dimensions & Area: 42'x60'

Estimated Project Cost:

OWNER OF RECORD INFORMATION

Please supply proper documentation of ownership and/or designated representative for any corporation.

Name of Owner: Ramzi Hassan Company: Cornerstone Centre, LLC

Street Address:

E-Mail Address:

City, State & Zip:

Phone Number:

APPLICANT INFORMATION

Same as Owner of Record

All correspondence and invoices will be sent to the applicant. If applicant is different than owner, "Authorized Representative Consent" section must be completed.

Name of Applicant: Scott A. Harris Company: RJ's Seafood Company, LLC

Relation To Project: Owner

Street Address:

E-Mail Address:

City, State & Zip:

Phone Number:



Village of Tinley Park
Community Development Dept
Planning Department
Tinley Park, IL 60471
708-411-3109

VILLAGE OF TINLEY PARK, ILLINOIS PLANNING AND ZONING GENERAL APPLICATION

Authorized Representative Consent

It is required that the property owner or his designated representative be present at all requests made to the Plan Commission and Zoning Board of Appeals. During the course of a meeting, questions may arise regarding the overall project, the property, property improvements, special conditions attached to recommendations among other aspects of any formal request. The representative present must have knowledge of the property and all aspects of the project. They must have the authority to make commitments related to the project and property. Failure to have the property owner or designated representative present at the public meeting can lead to substantial delays to the project approval. If the owner cannot be present or does not wish to speak at the public meeting, the following statement must be signed by the owner for an authorized representative.

I hereby authorize _____ (print clearly) to act on my behalf and advise that they have full authority to act as my/our representative in regards to the subject property and project, including modifying any project or request. I agree to be bound by all terms and agreements.

Property Owner Signature:

Property Owner Name (Print): Ramzi Hassan

Acknowledgements

- Applicant acknowledges, understands and agrees that under Illinois law, the Village President (Mayor), Village Trustees, Village Manager, Corporation Counsel and/or any employee or agent of the Village or any Planning and Zoning Commission member or Chair, does not have the authority to bind or obligate the Village in any way and therefore cannot bind or obligate the Village. Further, Applicant acknowledges, understands and agrees that only formal action (including, but not limited to, motions, resolutions, and ordinances) by the Board of Trustees, properly voting in an open meeting, can obligate the Village or confer any rights or entitlement on the applicant, legal, equitable, or otherwise.
- Members of the Plan Commission, Zoning Board of Appeals, Village Board as well as Village Staff may conduct inspections of subject site(s) as part of the pre-hearing and fact finding review of requests. These individuals are given permission to inspect the property in regards to the request being made.
- Required public notice signs will be obtained and installed by the Petitioner on their property for a minimum of 10 days prior to the public hearing. These may be provided by the Village or may need to be produced by the petitioner.
- The request is accompanied by all addendums and required additional information and all applicable fees are paid before scheduling any public meetings or hearings.
- Applicant verifies that all outstanding fees and monies owed to the Village of Tinley Park have been paid.
- Any applicable recapture, impact, engineering, contracted review or other required fees and donations shall be paid prior to issuance of any building permits, occupancy permits, or business licenses.
- The Owner and Applicant by signing this application certify that the above information and all supporting addendums and documentation is true and

Property Owner Signature:

Property Owner Name (Print): Ramzi Hassan

Applicant Signature:
(if other than Owner)

Applicant's Name (Print): Scott A. Harris

Date: 8/31/2021



Village of Tinley Park
Community Development Dept.
16250 S. Oak Park Ave.
Tinley Park, IL 60477
708-444-5100

VILLAGE OF TINLEY PARK, ILLINOIS SPECIAL USE ADDENDUM

APPLICATION & SUBMITTAL REQUIREMENTS

A complete application consists of the following items submitted in a comprehensive package. If materials are submitted separately or are incomplete they may not be accepted and may delay the review and hearing dates until a complete application package is received. The following information is being provided in order to assist applicants with the process of requesting a **Special Use** permit from the terms of the Zoning Ordinance (Section 5-B). This information is a summary of the application submittal requirements and may be modified based upon the particular nature and scope of the specific request.

Depending upon meeting schedules, legal notification requirements, and the specific type and scope of the request, this process generally takes between 45 to 60 days from the date of submission of a complete application package. Please schedule a pre-application meeting with Planning Department staff to review the feasibility of the proposal, discuss applicable Ordinance requirements, discuss submittal requirements, and receive some preliminary feedback on any concept plans prior to making a submittal.

- General Application form is complete and is signed by the property owner(s) and applicant (if applicable).
- Ownership documentation is submitted indicating proper ownership through a title report or title policy. If a corporation or partnership, documentation of the authorized agent must be supplied as well. All beneficiaries of a property must be disclosed.
- A written project narrative detailing the general nature and specific aspects of the proposal being requested. Details on any employee numbers, parking requirements, property changes, existing uses/tenants, hours of operation or any other business operations should be indicated. Any additional requests such as Site Plan approval or a Variation should be indicated in the narrative as well.
- A Plat of Survey of the property that is prepared by a register land surveyor and has all up-to-date structures and property improvements indicated.
- Site Plan and/or Interior layout plans that indicate how the property and site will be utilized.
- Responses to all Standards for a Special Use on the following page (can be submitted separately along with the narrative, but all standards must be addressed).
- \$500 Special Use hearing fee.

STANDARDS AND CRITERIA FOR A SPECIAL USE

Section X.J. of the Village of Tinley Park Zoning Ordinance requires that no Special Use be recommended by the Plan Commission unless the Commission finds that all of the following statements, A-G listed below, are true and supported by facts. Petitioners must respond to and confirm each and every one of the following findings by providing the facts supporting such findings. The statements made on this sheet will be made part of the official public record, will be discussed in detail during the public meetings and will be provided to any interested party requesting a copy. Please provide factual evidence that the proposed Special Use meets the statements below. If additional space is required, you may provide the responses on a separate document or page.

- A. That the establishment, maintenance, or operation of the Special Use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare.**

Yes, that is correct.

- B. That the Special Use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood.**

Yes, that is correct.

- C. That the establishment of the Special Use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.**

Yes, that is correct.

- D. That adequate utilities, access roads, drainage, and/or other necessary facilities have been or are being provided.**

All existing and to remain.

- E. That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.**

All existing and to remain.

- F. That the Special Use shall in all other respects conform to the applicable regulations of the district in which it is located, except as such regulations may in each instance be modified by the Village Board pursuant to the recommendation of the Plan Commission.**

Yes, it conforms to all applicable regulations of its district.

- G. The extent to which the Special Use contributes directly or indirectly to the economic development of the community as a whole.**

It will provide new jobs to local residents as well as drive business to the areas.

RJ's Seafood CO

18201 S. Harlem Avenue
Tinley Park, Illinois

COMING SOON!



Our Story

Founded in 1992 by Restaurateur Scott Harris, Francesca's Restaurants Group has grown from a small, welcoming Italian restaurant on Chicago's North Clark Street to a restaurant group of six concepts across 23 locations and two states. Based in Chicago, Francesca's Restaurant Group currently owns and operates 14 Francesca's Restaurants, 2 Davanti Enoteca, 4 Fat Rosie's Taco & Tequila Bar, Disotto, Joe's Imports and Vasili's.

Harris discovered his love for the culinary arts in high school while working at Fox's Pub on the South Side of Chicago. Hired as a dishwasher, he quickly found his way into the kitchen learning from the head Chef, and then continued on to attend Joliet Jr. Culinary School. He spent the next 15 years training at prestigious restaurants around Chicago and once he discovered the joys of authentic Italian cuisine, he fell in love.

With a focus on high quality yet simple ingredients, Harris has applied the same successful business model to each new location and concept since opening his first restaurant in 1992 – provide every customer with delicious fare, a comfortable environment and friendly service – and they will continue to come back.





Our Mission

At Francesca's Restaurant Group our goal is to provide our guests with a hospitable, fun & friendly dining experience. Our passion for fresh, high-quality food, craveable cocktails and excellence in service creates memorable moments for our guests. We strived to be your neighborhood restaurant, where you are always treated like one of the family.

The RJ's Seafood Co. Menu

All of the classics you know & love, and a boatload of new favorites! The menu at RJ's Seafood Co. brings the best of coastal cuisine to the Midwest with a chef-curated menu featuring grilled oysters, Cajun seafood boil, lobster rolls, and fish and chips, plus steaks, chops and salads for you land-lovers too. Incredible food, everyone shucks!



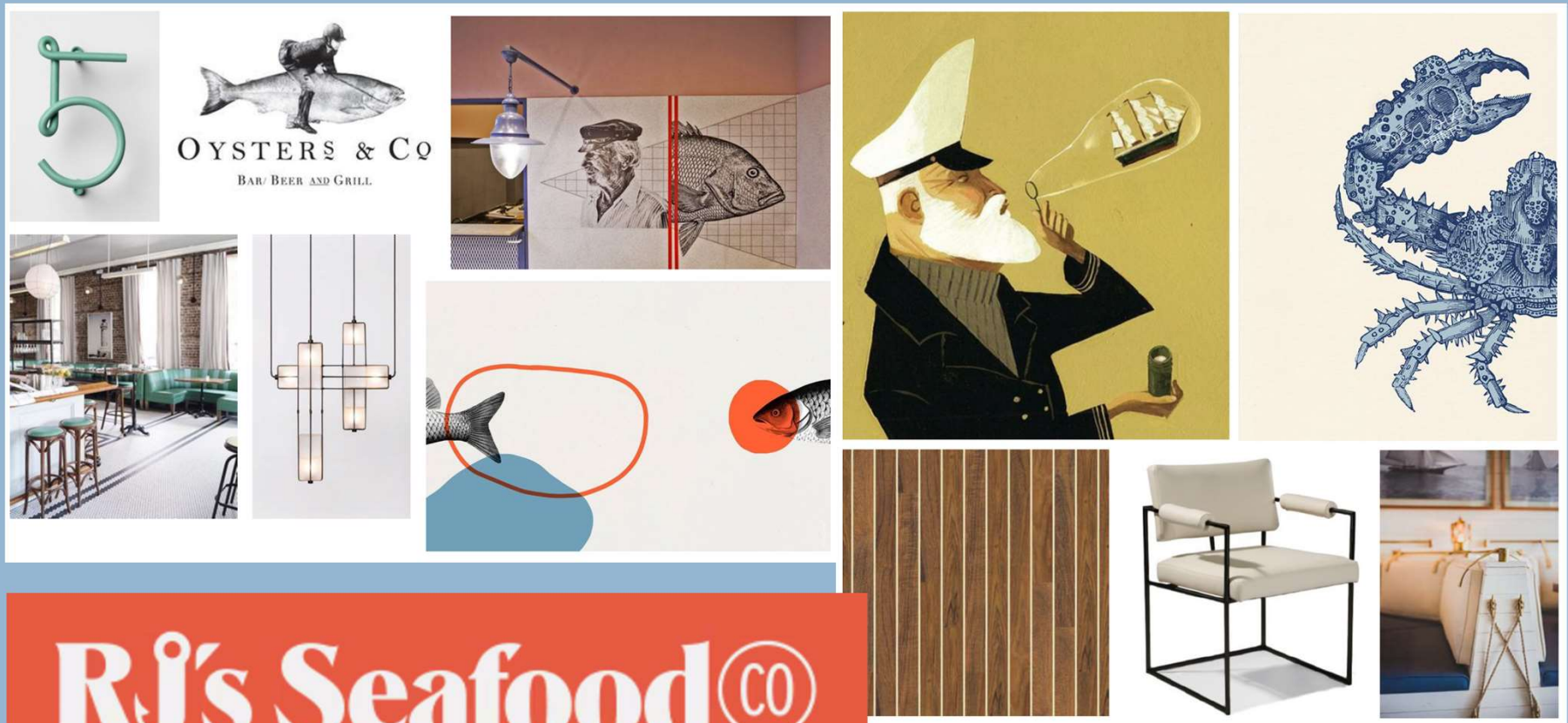
The RJ's Seafood Co. Beverage Program

Pair your perch with Prosecco, or your mahi with a Mai Tai. Whatever floats your boat, RJ's Seafood Co. offers an array of local craft beers, handmade cocktails and wine to wet your whistle. Our bar features 6 rotating beer taps, and seasonal sippers shaken (or stirred) to order!



The RJ's Seafood Co. Experience

Kick back, relax & enjoy some seriously delicious seafood with a healthy dose of humor! RJ's Seafood Co. is whimsical, inviting and full of fun. Belly up to the bar for a plate of freshly shucked oysters or join your crew in the dining room with a towering octopus overhead. Soak up some sun on the patio, or host a seaside soiree in our private dining room. Clam you dig it?



RJ's Seafood^{CO}



Francesca's
RESTAURANTS


disotto

Davanti
Enoteca

JOE'S IMPORTS
WINE BAR

 **FAT ROSIE'S**
TACO & TEQUILA BAR

VASILIS
greek

Corporate Office
2200 E. Devon Ave, Suite 250
Des Plaines, IL 60018
773-334-8368

CONTACT INFORMATION

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Owner/President
O. 773-334-8368
scott@miafrancesca.com

Kevin Roskoskey
Director of Operations
C. 630-432-3644
kevinr@miafrancesca.com

Jaysen Euler
Culinary Director
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jaysen@miafrancesca.com

Robyn Jones
Director of Business Development
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robynjones@miafrancesca.com

Jonathan Beatty
Director of Culinary Innovation
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jonathan@miafrancesca.com

Rachel Crowl / FC Studio Inc.
Architect & Designer
O. 773-960-6556
rachel@fcstudioinc.com

RJ Seafood Narrative

Proposed seafood restaurant in the existing Tin Fish restaurant tenant space. Proposed new addition to house additional B.O.H equipment, to support anticipated busy restaurant operations and storage needs. The addition will match the existing building finish material. Those materials consist of: split face cmu, Brick, painted stucco, and a cornice detail along the top. There is also a proposed nana wall to be installed on the north elevation of the existing building. This will allow for a more open feel to the restaurant and more seamless transition from inside to outside. The addition is being proposed on the existing asphalt trash area, with no impact on existing parking spots. Landscape surroundings the addition to the north consist of grass and evergreen trees, which are to be replaced and new proposed landscape will be added. Refer to Landscape plans for new landscape. To the east mulch in the 10' easement, and hardscape to the west including an asphalt driveway and concrete sidewalk all to remain as is. Trash area will be relocated to the existing trash area on the south end of the building. A new patio and canopy are proposed over the existing drive aisle to the west of the new addition. The patio will include fencing and landscape to help screen and reduce noise from the patio area. A new nana wall system will be added to the north elevation of the tenant space in order to create a direct access to the new patio space. Furthermore, an air curtain will be provided at the nana wall to keep out insects. Pest control service will also be provided to ensure no rodents are entering building through nana wall system. The restaurant will have working hours of operation between 11:00a-10:00p daily. It will employ an anticipated 60 local residents of Tinley Park.

Tenants will no longer need to provide their own service or coordinate for service through third party brokers. Reduction of carbon emissions resulting from fewer trash hauler visits to each site. Improved customer service - dedicated account representatives handling all trash and recycling needs. Less wear and tear on the property - reduces upkeep and maintenance costs of the shopping center. Fewer trash cans on the property that can be unsightly and that create security risks. Assurance that trash and recycling program is compliant with code and other regulatory requirements.

The loading / unloading will occur in the drive aisle in front of the proposed patio daily between the hours of 7am-10am. We anticipate these will be the hours of the day with less traffic in and out of the shopping center and therefore limit the disruptions to other business.

RJ's SEAFOOD - SITE ADDENDUM

18201 SOUTH HARLEM AVENUE, TINLEY PARK, IL 60477

REVISED PER TINLEY PARK
PLANNING
02.08.2022



OWNER
FRANCESCA'S RESTAURANT
GROUP

2200 E DEVON AVE #250
DES PLAINES, IL 60018
(T) 773-334-8368

-

CIVIL ENGINEER
EVA Design and Engineering

420 W HURON STREET,
CHICAGO, IL 60654
(T) 312-291-1846

INFO@EVA-ENG.COM

MEP Engineers
Element Energy
Consulting, LLC

1 S. WACKER DRIVE, #200
CHICAGO, IL 60606
(T) 312-620-9984

DAN@ELEMENT-CO.COM

STRUCTURAL ENGINEER
Clark Baurer, SE

-2441 N. SPAULDING AVE
CHICAGO, IL 60647
(T) 312-498-0226

CTBAURER@CTBSE.COM

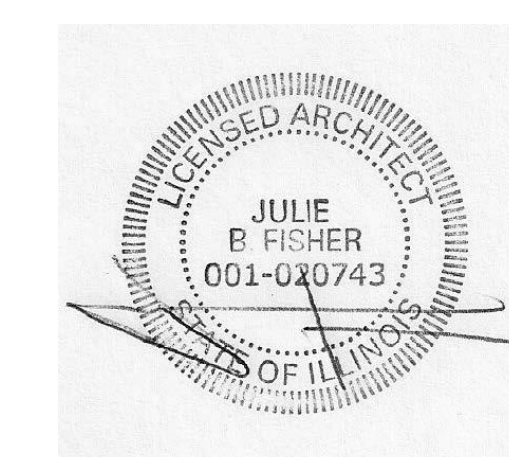
GENERAL CONTRACTOR
Chas Bender CO.

2256 WEST WALNUT STREET
CHICAGO, IL 60612
312-374-3385

INFO@CHASBENDER.COM

ARCHITECT OF RECORD
FC STUDIO INC.
2545 W DIVERSEY AVE STE. 236
Chicago, IL 60647
312-850-0850
fcstudioinc.com

Contact: Julie Fisher



FC
STUDIO

- LEGEND**
- Storm CB
 - Storm Inlet
 - San MH
 - Water MH
 - Water Stand
 - Water Hole
 - Water Pedestal
 - Telephone Pedestal
 - Utility Pole
 - Guy Anchor
 - Electric Pad
 - Electric Meter
 - Electric Light Pole
 - Electric Mounted Wall Light
 - Gas Meter
 - Gas Valve
 - Tree - Deciduous
 - Tree - Evergreen
 - Sign Post
 - Unclassified Manhole
 - Auto Sprinkler
 - A-ASPHALT ELEVATION
 - GR-GRAVEL ELEVATION
 - FR-FINISHED FLOOR ELEVATION
 - CE-CEILING ELEVATION
 - X-CONCRETE ELEVATION
 - TOE-TOP OF SLOPE ELEVATION
 - TOT-TOP OF BANK ELEVATION
 - G-GUTTER ELEVATION
 - EL-ELEVATION

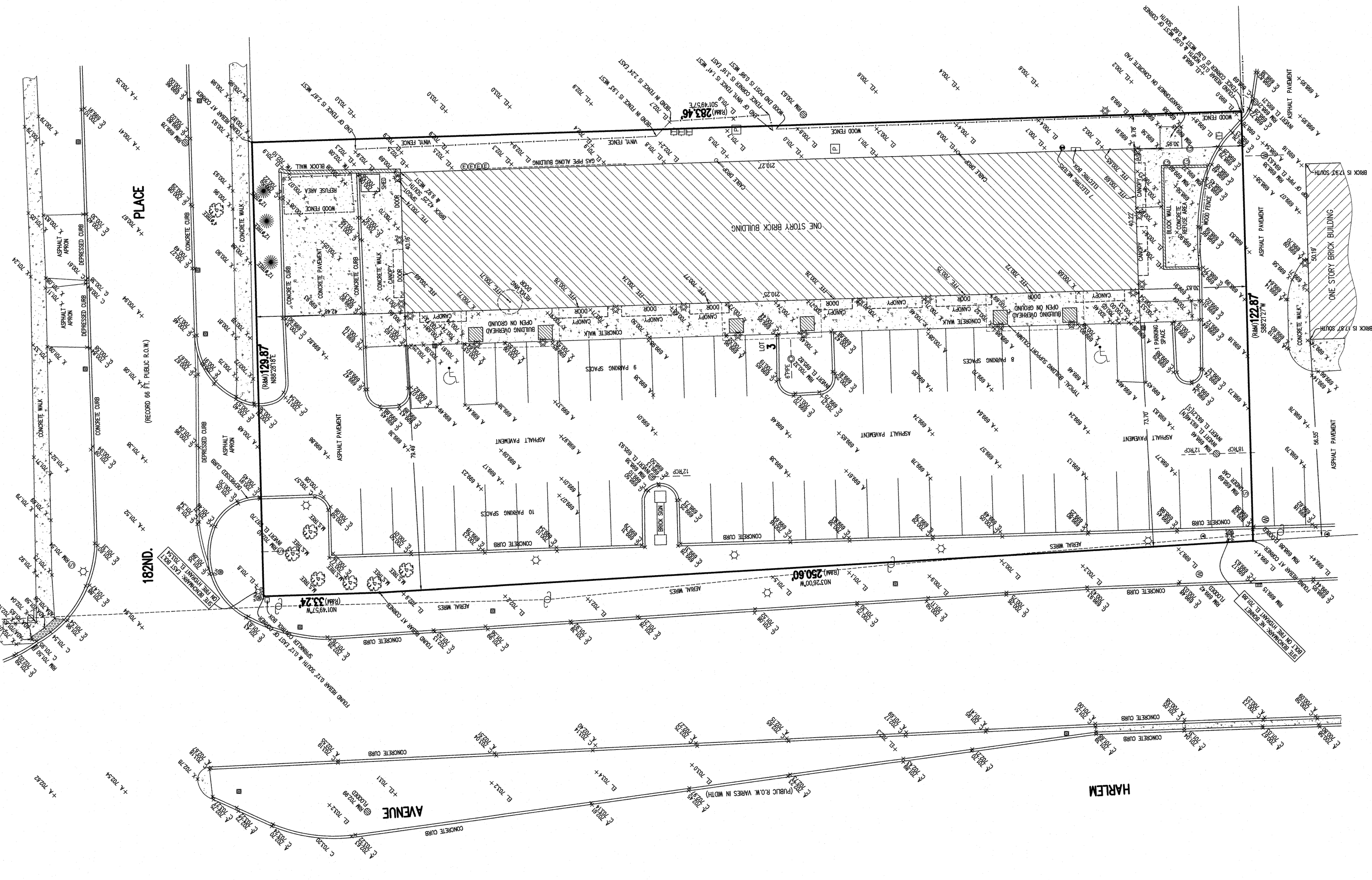
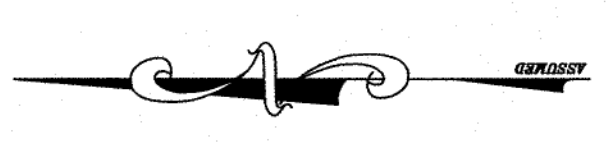
GREMLEY & BIEDERMANN
A Division of
PLCS Corporation
License No. IL-00332

PROFESSIONAL LAND SURVEYORS
4505 North Elston Avenue, Chicago, IL 60630
Telephone: (773) 685-5302 Email: INFO@PLCS-SURVEY.COM

Plat of Survey

LOT 3 IN CORNERSTONE CENTRE, BEING A SUBDIVISION OF PART OF THE CORNERSTONE CENTRE, BEING A SUBDIVISION OF THE WEST HALF OF SECTION 13 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN COOK COUNTY, ILLINOIS.

CONTAINING 35.862 SQUARE FEET OR 0.825 ACRES MORE OR LESS.



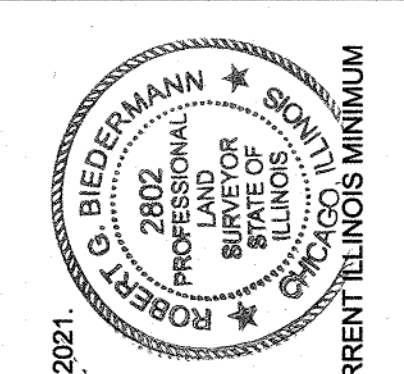
BENCH MARK
HORIZONTAL DATUM (NAD83/2011)
VERTICAL DATUM (NGVD 28 (2012A))

IN REFERENCE TO A CORS (Continuously Operating Reference Station) NETWORK MAINTAINED BY KARA COMPANY.

LATEST INFORMATION INCLUDING POSITIONS AND VELOCITIES ARE AVAILABLE IN THE COORDINATE AND LOG FILES ACCESSIBLE BY ANONYMOUS FTP OR THE WORLDWIDE WEB.
FTP: CORS.NGS.NOAA.GOV/CORS/COORD_AND_CORRSSTATION_LOG
HTTP://WWW.NGS.NOAA.GOV/CORS
HTTP://WWW.KARACOM.COM

UTILITY WARNING
The underground utilities shown have been located from field survey information and existing drawings. The surveyor has not excavated to verify the location of these utilities. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor is not responsible for any damage to underground utilities caused by excavation. The surveyor has not physically located the underground utilities.

SIGNED ON NOVEMBER 17, 2021.
BY: *[Signature]*
PROFESSIONAL ILLINOIS LAND SURVEYOR NO. 2802
THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.



SURVEY NOTES
SURVEYORS LICENSE EXPIRES November 30, 2022
Note: (RAM) denotes Record and Measured distances respectively.
Distances are marked in feet and decimal parts thereof. Complete all points BEFORE building by same and all one report any differences BEFORE damage is done.
For easements, building lines and other restrictions not shown on survey plat refer to your abstract, deed, contract, this plat and local building line regulations.
NO dimensions shall be assumed by scale measurement upon this plat.
Unless otherwise noted herein the Bearing, Basis, Elevation Datum and Coordinate Datum if used is ASSUMED.
COPYRIGHT GREMLEY & BIEDERMANN, INC. 2021 "All Rights Reserved"

ORDERED BY: FRANCISCA RESTAURANTS 1830 SOUTH HARLEM AVENUE	CHECKED: DRWIN ID
ADDRESS: 4505 North Elston Avenue, Chicago, IL 60630 Telephone: (773) 685-5302 Email: INFO@PLCS-SURVEY.COM	DATE: NOVEMBER 16, 2021
2021-29474-001	SCALE: 1" = 16' Feet
	PAGE NO: 1 OF 1

Architect of Record
FCSTUDIO inc.
2545 W Diversey Ave,
Suite 236
Chicago, IL 60647
312.850.0850



RJ's SEAFOOD
SITE ADDENDUM
18201 SOUTH HARLEM AVENUE,
TINLEY PARK, IL 60477

Key Plan

SUBMISSION TO TINLEY PARK PLANNING	12.23.21
A1 REVISED PER TINLEY PARK PLANNING	01.21.22
A2 REVISED PER TINLEY PARK PLANNING	02.08.22

Issued For

Drawn By:
Author
Project Coordinator
Checker
Project Manager
Approver

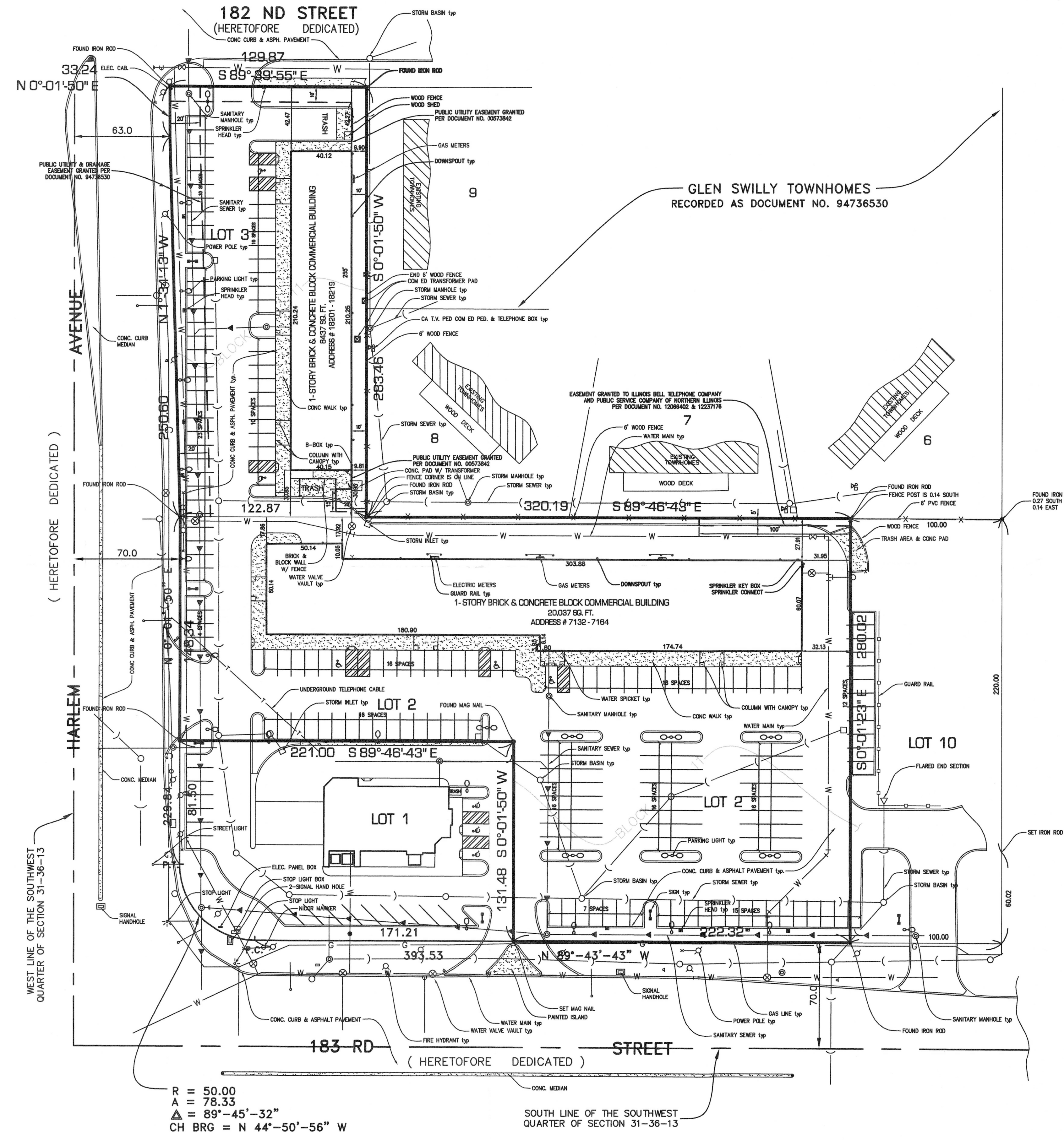
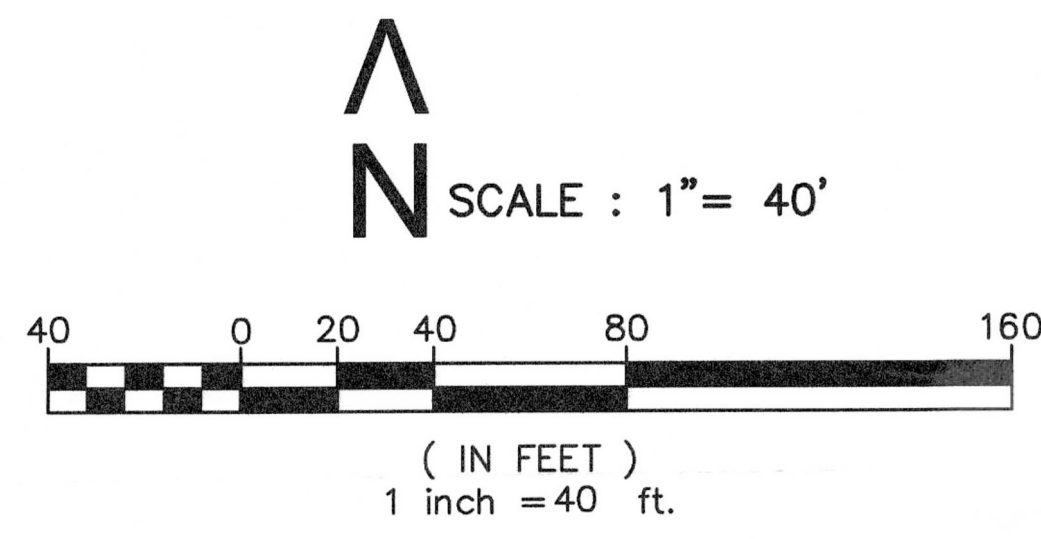
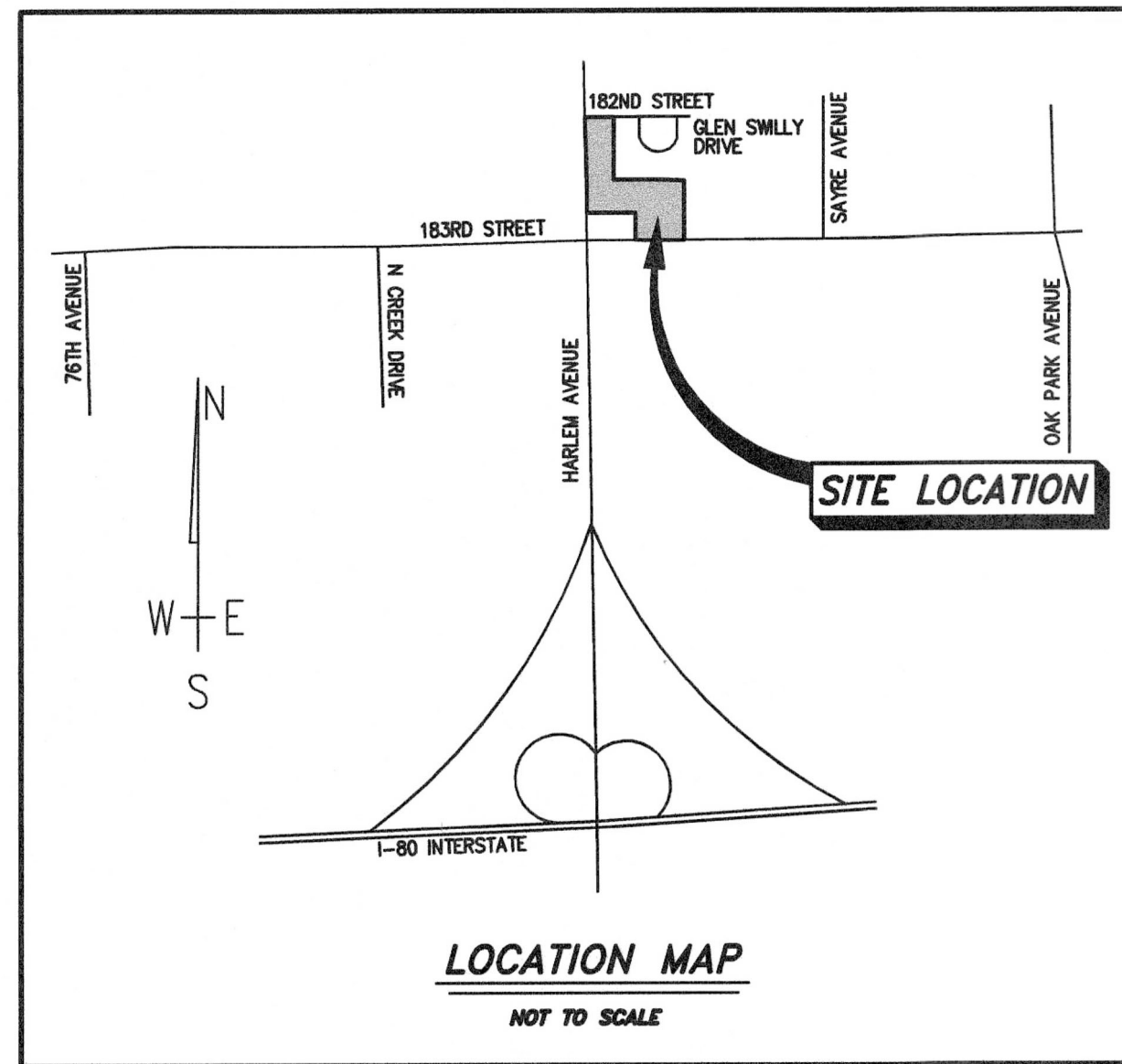
02.08.2022

PLAT OF SURVEY

G002

ENGINEERS SURVEYORS
737 West Exchange St. Crete, IL 60417
ph 708.672.4994 fax 708.672.3739

ALTA/ACSM LAND TITLE SURVEY



LEGAL DESCRIPTION

LOTS 2 AND 3 IN CORNERSTONE CENTRE, BEING A RESUBDIVISION OF PART OF ELMORE'S HARLEM AVENUE ESTATES AND PART OF GLEN SWILLY TOWNHOMES, BEING SUBDIVISIONS OF PART OF THE WEST HALF OF SECTION 31, TOWNSHIP 36 NORTH, RANGE 13 EAST OF THE THIRD PRINCIPAL MERIDIAN; EXCEPTING THEREFROM THAT PART TAKEN FOR THE WIDENING OF HARLEM AVENUE AND 183RD STREET AS PER DOCUMENT NO. 19877126; IN COOK COUNTY, ILLINOIS.

- NOTES:**
- LOTS 2 AND 3 IN CORNERSTONE CENTRE ARE SUBJECT TO A NON-EXCLUSIVE ACCESS EASEMENT AGREEMENT RECORDED AS DOCUMENT NO. 99870286
 - ALL PROPERTY HEREON DESCRIBED SUBJECT TO A RECIPROCAL GRANT OF EASEMENT FOR STORM SEWER AND STORM WATER DISCHARGE.
 - CHICAGO TITLE INSURANCE COMPANY COMMITMENT NO. 1401 008933483 WITH AN EFFECTIVE DATE OF APRIL 26, 2013 WAS USED IN THE PREPARATION OF THIS SURVEY.
 - AN ASSUMED BASIS OF BEARINGS WAS USED IN THE PREPARATION OF THIS SURVEY.

TOTAL NUMBER OF PARKING SPACES
171 REGULAR SPACES
5 HANDICAP SPACES

TOTAL AREA = 130,815 SQ. FT.
3.0031± ACRES

STANDARD SYMBOL LEGEND

	WATERMAIN
	WATERMAIN AND VALVE BOX
	HYDRANT INSTALLATION
	WATER SERVICE W/ 7/8" RISER
	SANITARY SEWER AND MANHOLE
	SANITARY SEWER AND DROP MANHOLE
	STORM SEWER AND MANHOLE
	STORM SEWER AND HEADWALL
	INLET AND STORM BASIN
	CATCH BASIN AND STORM SEWER
	FENCE
	PROPERTY LINE
	PARKING LIGHT
	L&T BURIED CABLE
	GAS LINE
	POWER LINE POLE
	ELECTRICAL TRANSFORMER
	ELECTRICAL PEDestal

AN EXAMINATION HAS BEEN MADE OF THE FLOOD INSURANCE RATE MAP OF THE NATIONAL FLOOD INSURANCE PROGRAM FOR THIS AREA OF THE VILLAGE OF TINLEY PARK, COOK COUNTY, ILLINOIS, BEING MAP NUMBER 17030078 F EFFECTIVE DATE: NOVEMBER 4, 2000. THE NATIONAL FLOOD INSURANCE PROGRAM HAS DETERMINED THAT THE ABOVE DESCRIBED PROPERTY IS DESIGNATED AS ZONE "X" DEFINED AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN. THIS STATEMENT IS FOR FLOOD INSURANCE PURPOSES ONLY AND DOES NOT NECESSARILY INDICATE ALL AREAS SUBJECT TO FLOODING.

STATE OF ILLINOIS }
COUNTY OF WILL } SS

TO : CORNERSTONE CENTRE, LLC, AN ILLINOIS LIMITED LIABILITY COMPANY; CHICAGO TITLE INSURANCE COMPANY; WB PAD HOLDINGS IV, LLC; OLD PLANK TRAIL COMMUNITY BANK

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 3, 4, 7(A) & 9 OF TABLE THEREOF.

THE FIELD WORK WAS COMPLETED ON JUNE 6, 2013

DATE OF PLAT OR MAP: JUNE 11, 2013

(SIGNED) William J. Stepek
WILLIAM J. STEPEK

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 2430
LICENSE EXPIRES: NOVEMBER 30, 2014

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184 - 002235
LICENSE EXPIRES: APRIL 30, 2015

JOB NO. 13017

Architect of Record
FCSTUDIO inc.
2545 W Diversey Ave.
Suite 236
Chicago, IL 60647
312.850.0850

FCSTUDIO
ARCHITECTURE + INTERIORS

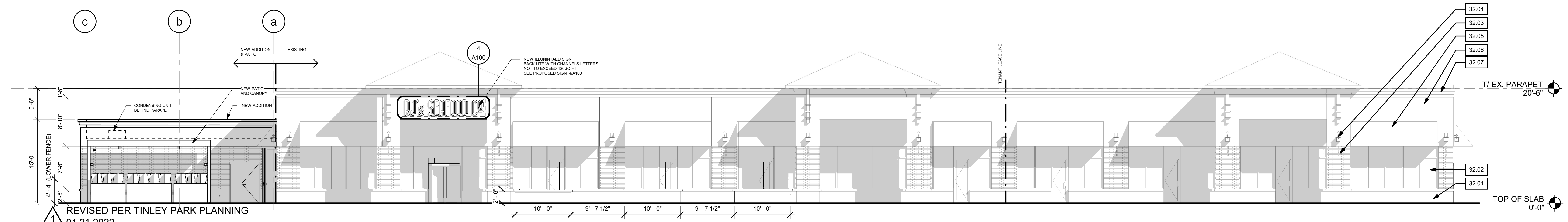
RJ's SEAFOOD
SITE ADDENDUM
18201 SOUTH HARLEM AVENUE,
TINLEY PARK, IL 60477

Key Plan

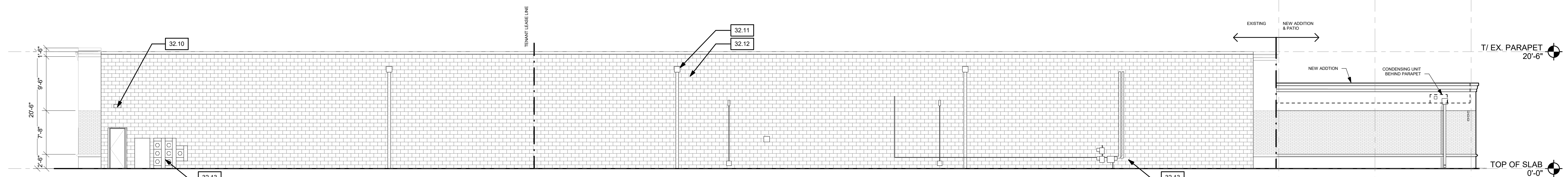
Issued For
A2 REVISED PER TINLEY PARK PLANNING 02.08.22

Drawn By:
Author
Project Coordinator
Checker
Project Manager
Approver

PLAT OF SURVEY

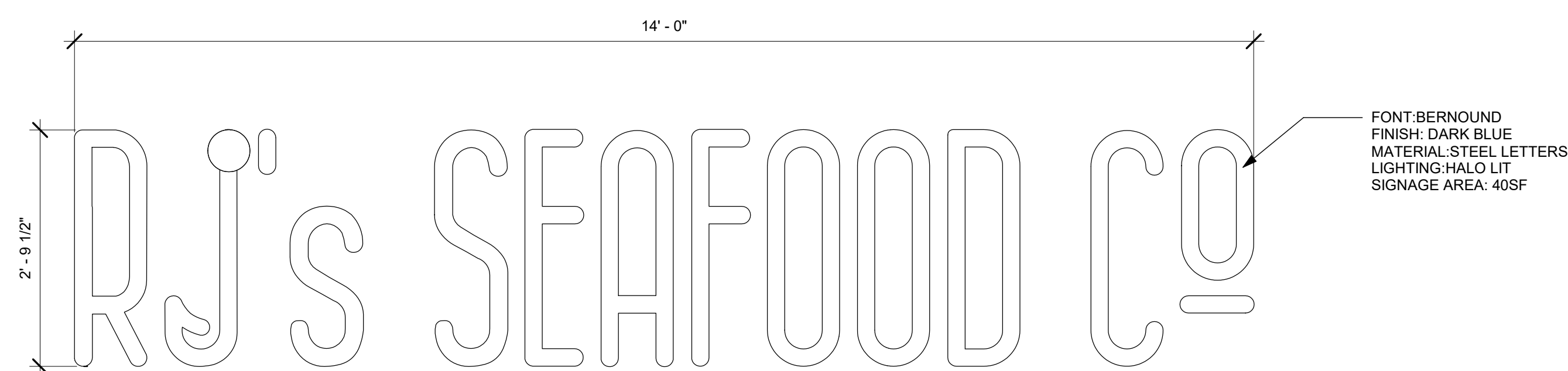


1 EXTERIOR ELEVATION WEST
A100 1/8" = 1'-0"

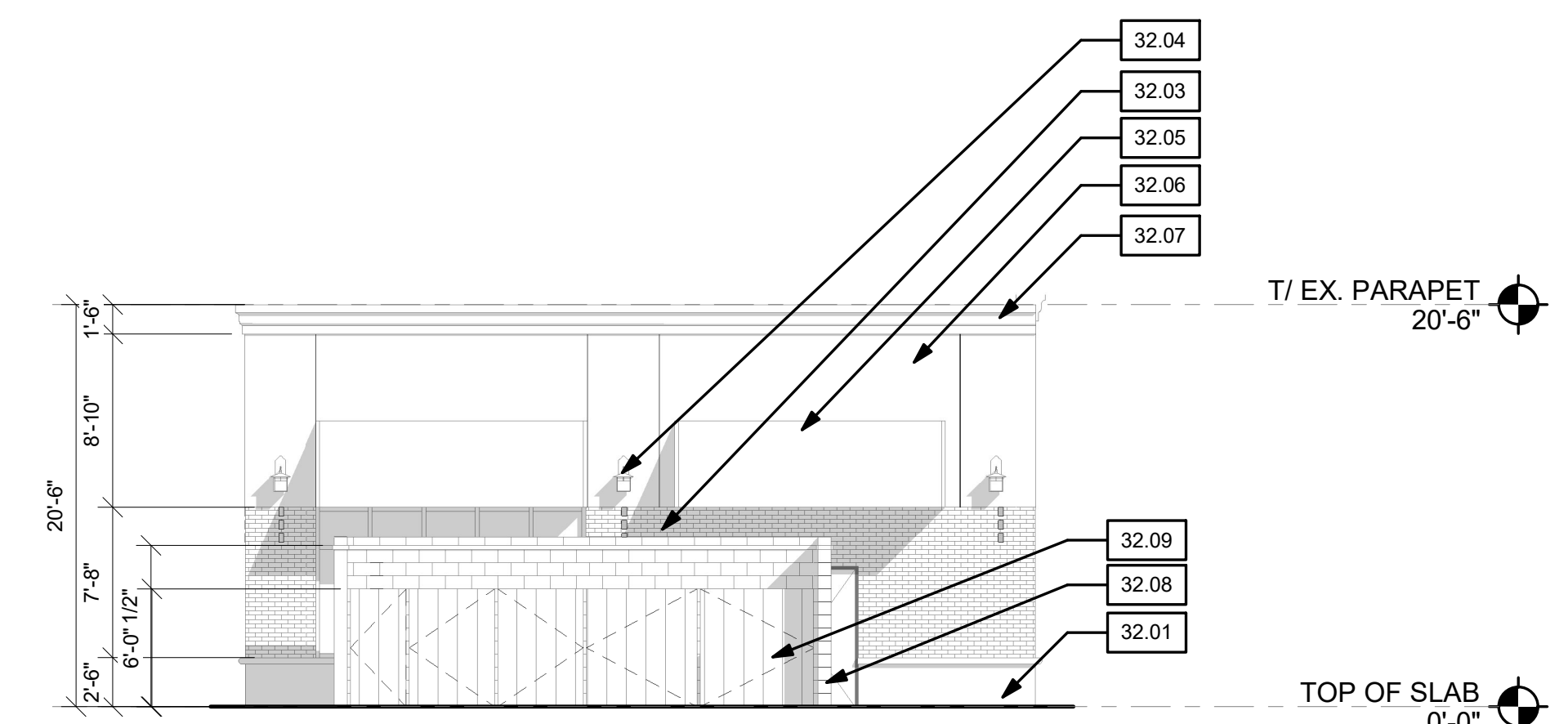


2 EXTERIOR ELEVATION EAST
A100 1/8" = 1'-0"

SITE ADDENDUM KEYNOTES	
Key Value	Keynote Text
32.01	EX. SPLIT FACE CMU.
32.02	EX. STORE FRONT.
32.03	EX. BRICK.
32.04	EX. LIGHT TYP.-
32.05	EX. AWNING.
32.06	EX. PAINTED STUCCO.
32.07	EX. CORNICE.
32.08	EX. MASONRY TRASH ENCLOSURE.
32.09	EX. WD. DOORS.
32.10	EX. LIGHT.
32.11	EX. ROOF SCUPPER.
32.12	EX. CMU BLOCK.
32.13	EX. SERVICE TO REMAIN.



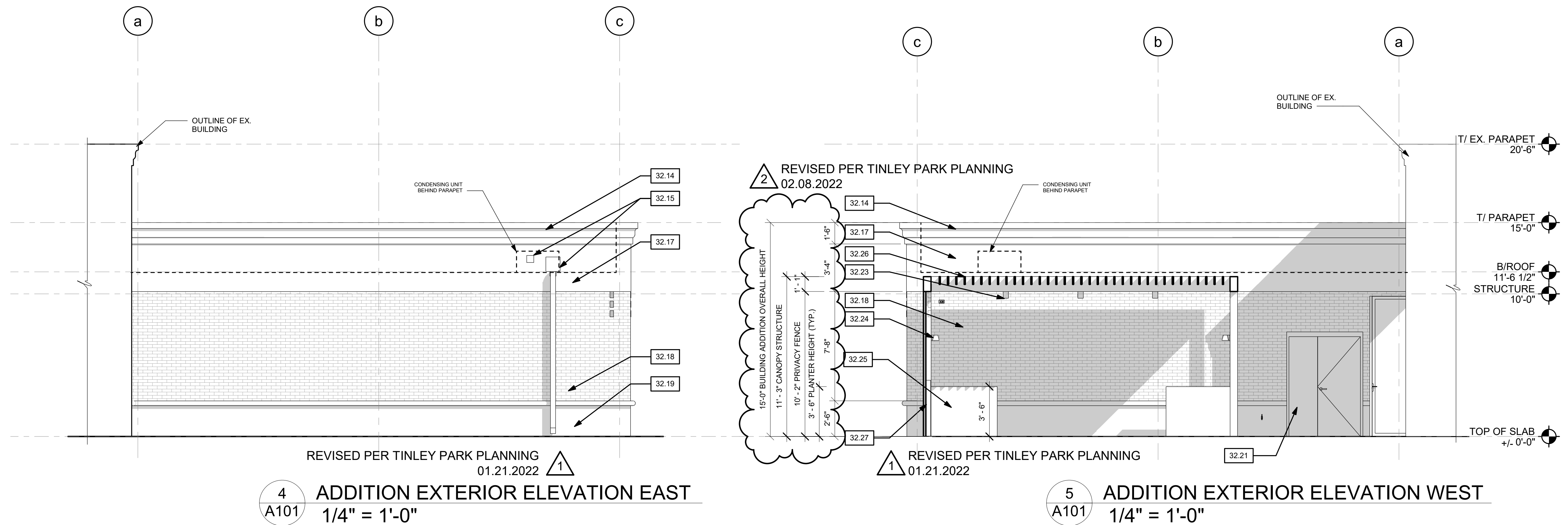
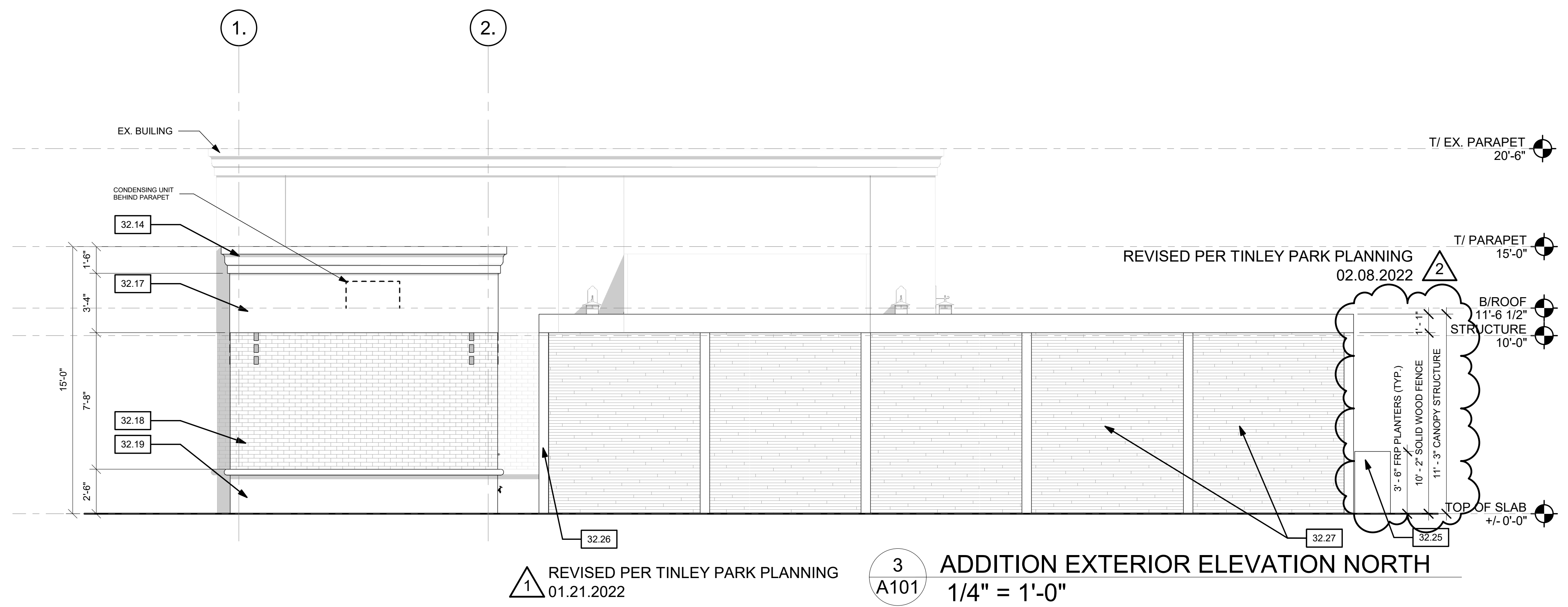
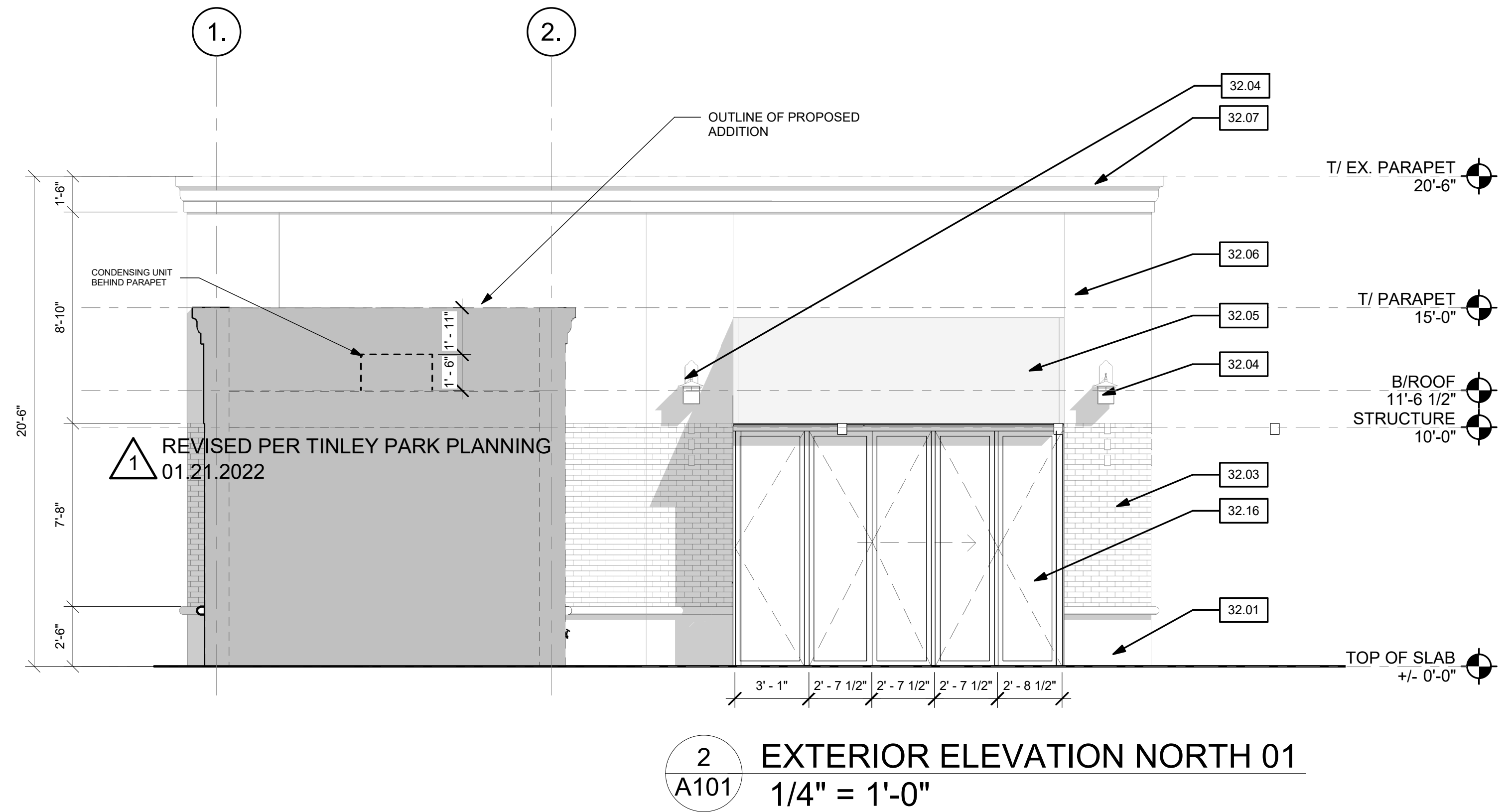
4 ENLARGED SIGN ELEVATION
A100 3/4" = 1'-0"



3 EXTERIOR ELEVATION SOUTH
A100 1/8" = 1'-0"

REVISED PER TINLEY PARK PLANNING
01.21.2022 Δ 1

SITE ADDENDUM KEYNOTES	
Key Value	Keynote Text
32.01	EX. SPLIT FACE CMU.
32.03	EX. BRICK.
32.04	EX. LIGHT TYP.-
32.05	EX. AWNING.
32.06	EX. PAINTED STUCCO.
32.07	EX. CORNICE.
32.14	NEW CORNICE TO MATCH EXISTING.
32.15	NEW SCUPPER BOX WITH COMBINED OVERFLOW TO MATCH EXISTING. DOWN SPOUT TO SPLASH ON GRADE.
32.16	NEW NANA WALL SLIDING ALUMINUM/GLASS DOOR SYSTEM FINISH TO MATCH EXISTING STOREFRONT.
32.17	NEW STUCCO TO MATCH EXISTING TO BE CONFIRMED.
32.18	NEW BRICK. BRICK NAME: BRANDYWINE, TEXTURE: RUSTIC, SIZE: UTILITY, MANUFACTURER: HEBRON BRICK COMPANY.
32.19	NEW STONE. MANUFACTURER: READINGROCK, TEXTURE: ROCKFACE/ CHISELED, COLOR: CREME BUFF.
32.21	NEW HOLLOW METAL DOOR, PAINT TO MATCH EXISTING STOREFRONT.
32.23	NEW CEILING MOUNTED LIGHTING. FINAL SPEC. TBD.
32.24	NEW WALL SCONCE. FINAL SPEC TBD. TOTAL OF 8, LOCATED AT 8 CENTER POST.
32.25	NEW PERMANENT PLANTERS, TOURNESOL FRP PLANTER SYSTEM. REFER TO PLAN AND SCHEDULE SHEET A001 FOR SIZING AND FINISHES.
32.26	NEW LOUVERED CANOPY STRUCTURE. FINISH BLACK TO MATCH AWNINGS.
32.27	NEW SOLID WOOD FENCING. NORTH SIDE FENCE FULL HEIGHT TO BOTTOM OF PATIO AWNING STRUCTURE (122" HEIGHT), WEST AND SOUTH SIDE FENCE 52" HEIGHT. CEDAR IN DARK WALNUT FINISH.



Architect of Record

FCSTUDIO
ARCHITECTURE + INTERIORS

FCSTUDIO inc.
2545 W Diversey Ave.,
Suite 236
Chicago, IL 60647
312.850.0850

RJ's SEAFOOD
SITE ADDENDUM
18201 SOUTH HARLEM AVENUE,
TINLEY PARK, IL 60477

Key Plan

Issued For

SUBMISSION TO TINLEY PARK PLANNING 12.23.21
 Δ 1 REVISED PER TINLEY PARK PLANNING 01.21.22
 Δ 2 REVISED PER TINLEY PARK PLANNING 02.08.22

Drawn By:
Author
Project Coordinator
Checker
Project Manager
Approver

02.08.2022

EXTERIOR ELEVATIONS

A101



RENDERING VIEW 01



RENDERING VIEW 02

2 REVISD PER TINLEY PARK PLANNING
02.08.2022



RENDERING VIEW 03

2 REVISD PER TINLEY PARK PLANNING
02.08.2022



RENDERING VIEW 04

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RJ's SEAFOOD
SITE ADDENDUM
18201 SOUTH HARLEM AVENUE,
TINLEY PARK, IL 60477

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Project Manager
Approver

02.08.2022

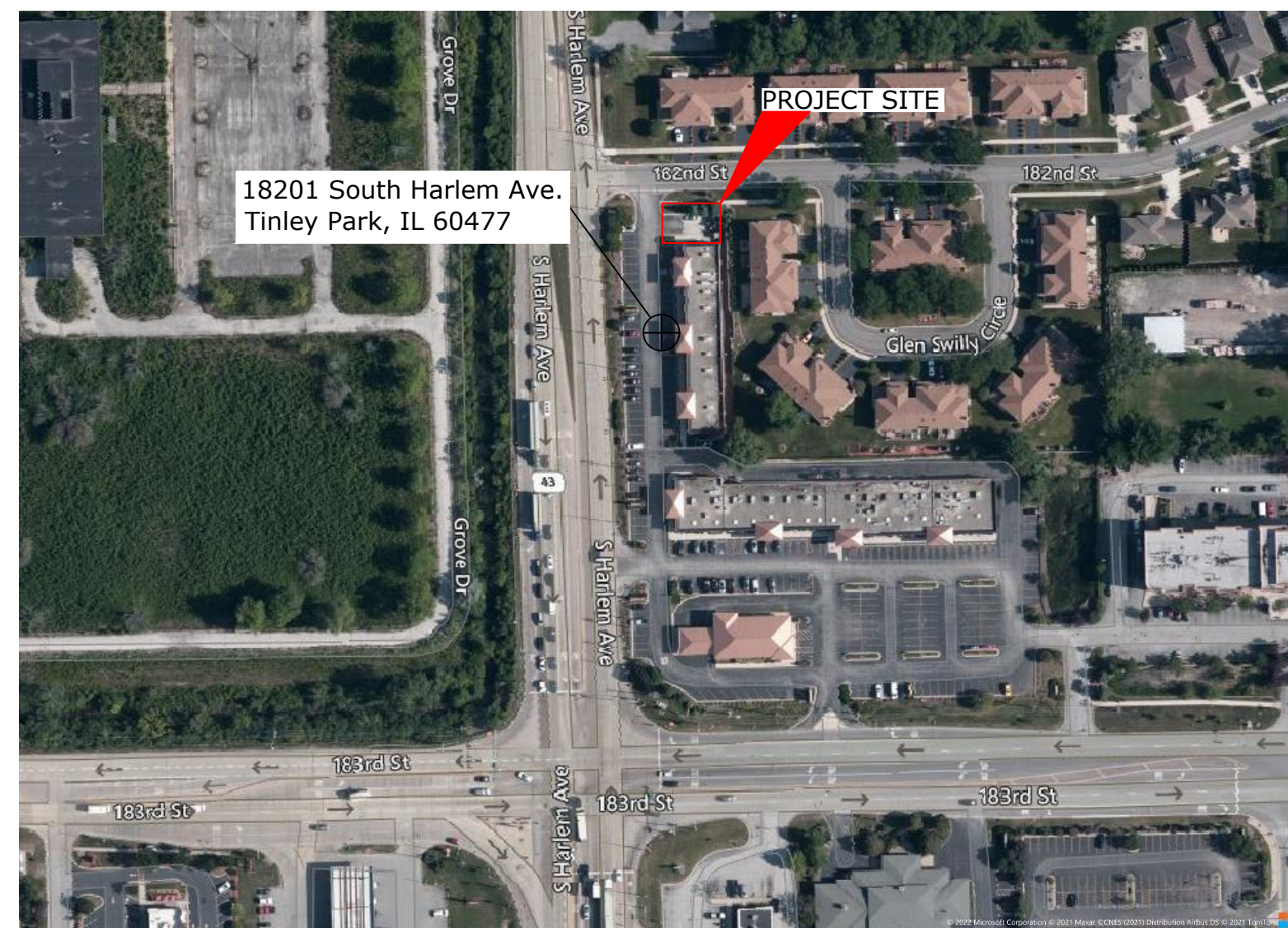
RENDERINGS

A102

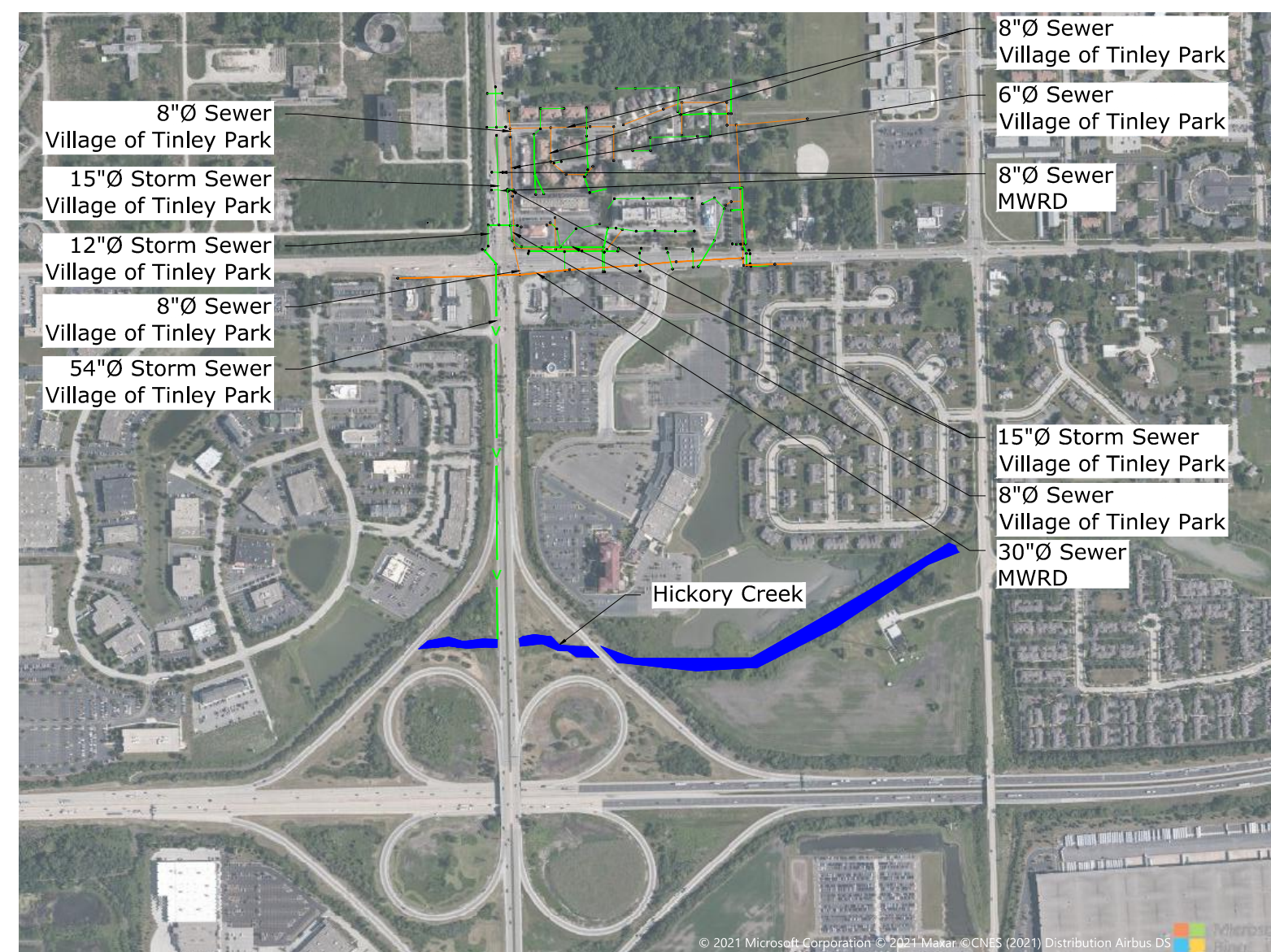
Proposed Tenant Buildout/Addition

Proposed Building Addition

18201 South Harlem Avenue
Tinley Park, IL 60477



Location Map
SCALE: 1" ~ 100'



Sewer/Storm Infrastructure Map
SCALE: 1" ~ 800'

GENERAL NOTES:

1. THE CONTRACTOR SHALL INDEMNIFY THE OWNER, ENGINEER, ARCHITECT, MUNICIPALITY, AND THEIR AGENTS, FROM ALL LIABILITY INVOLVED WITH THE WORK, INSTALLATION, AND INSPECTIONS ASSOCIATED WITH THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES AND EXPENSES ASSOCIATED TO COMPLETE THE WORK INCLUSIVE OF, BUT NOT LIMITED TO, PERMITS, INSPECTIONS, MOBILIZATION, DELIVERIES, UTILITY SERVICES (CONNECTIONS, RELOCATIONS, ETC.), MATERIALS, LABOR, SUPERVISION, AND EQUIPMENT.
3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION, INCLUSIVE OF CONSTRUCTION, DEMOLITION, AND SAFETY OPERATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH, INCLUDING, BUT NOT LIMITED TO:
 - 3.A. OSHA
 - 3.B. IEPA
 - 3.C. ADAAG
 - 3.D. MWRDGC
 - 3.E. VILLAGE OF TINLEY PARK
 IN CASE OF CONFLICT OF THE AFOREMENTIONED AGENCIES/REFERENCES LISTED (AND NOT LISTED), THE MORE STRINGENT SHALL TAKE PRECEDENCE.
4. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING FIELD CONDITIONS PRIOR TO COMMENCING ANY WORK. THE CONTRACTOR IS CAUTIONED THAT UTILITIES SHOWN, OR NOT SHOWN, MAY NOT BE COMPLETE OR ACCURATELY REPRESENTED AT THE WORK SITE. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS. NOTIFY ENGINEER OF ANY CONFLICTS, POTENTIAL CONFLICTS, OR OTHER DISCOVERED CONDITIONS.
5. CONTRACTOR SHALL CONDUCT A UTILITY LOCATE PRIOR TO COMMENCING WITH ANY WORK. NOTIFY LOCAL PUBLIC UTILITY LOCATE SERVICES 48 HOURS, AT MINIMUM, PRIOR TO COMMENCING WORK. LOCATE ALL UTILITIES SHOWN AND AS INFORMED/DOCUMENTED DURING CONSTRUCTION OPERATIONS. MAINTAIN ALL MARKOUTS THROUGHOUT THE WORK. ONE CALL SERVICE TELEPHONE #: (800) 892-0123
6. NOTIFY ADJACENT PROPERTY OWNERS AND OBTAIN PERMISSION(S) PRIOR TO COMMENCING WORK, STAGING, STORING, OR OPERATING ON LANDS OWNED BY OTHERS. CONTRACTOR SHALL USE CAUTION AND EXERCISE CARE WORKING AROUND UTILITIES AND ADJACENT PROPERTIES. DO NOT DISTURB OR INTERRUPT ANY UTILITY AND/OR PROPERTY WITHOUT APPROVAL OF OWNER(S) AND/OR SUBJECT SERVICE AGENCY. UTILITIES AND PROPERTIES DISTURBED/DAMAGED DURING CONSTRUCTION SHALL BE RECONSTRUCTED TO ITS ORIGINAL CONDITION. DAMAGES INCURRED BY THE CONTRACTOR DURING WORK OPERATIONS SHALL BE REPAIRED/RECONSTRUCTED AT THE CONTRACTOR'S EXPENSE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, IMPLEMENTING, SUPERVISING ALL SAFETY PRECAUTIONS AND MEASURES FOR THE PROJECT SITE AND ASSOCIATED WORK.
9. REMOVE FROM SITE ALL DEBRIS, RUBBLE, MATERIAL WASTE, AND RESULTS FROM DEMOLITION FROM SITE, UNLESS STATED OTHERWISE. LAWFULLY REMOVE MATERIAL.
10. DISTURBED AREAS, WHETHER OR NOT INDICATED, SHALL BE RESTORED TO ITS ORIGINAL CONDITION.
11. BUILDING DOOR LOCATIONS SHOWN FOR REFERENCE. REFER TO BUILDING PLANS FOR CONSTRUCTION INFORMATION. COORDINATE BUILDING DOOR LOCATIONS WITH ARCHITECT.
12. PRODUCT SPECIFICATIONS REFERENCING IDOT SSRBC SHALL COMPLY WITH SUBJECT ARTICLE IN REGARDS TO MATERIALS AND INSTALLATION. PAYMENT AND ASSOCIATED CONSTRUCTION ADMINISTRATION SHALL BE PERFORMED IN ACCORDANCE WITH CONSTRUCTION CONTRACT PROCEDURES.
13. SUBMIT RECORDS OF AS-BUILT CONDITIONS TO OWNER/ENGINEER & VILLAGE ENGINEER. IDENTIFY ANY DEVIATIONS/MODIFICATIONS MADE DURING CONSTRUCTION ON AS-BUILTS. AS-BUILT DOCUMENTATION FOR SITE WORK SHALL BE PROVIDED BY A PROFESSIONAL LICENSED SURVEYOR—DOCUMENTATION SHALL IDENTIFY TOPOLOGY (IN REFERENCE TO PROJECT DATUM), DRAINAGE PATTERNS, INVERTS OF UTILITIES, NEW CONSTRUCTION, CURBS, CROWNS, FFE'S, ETC.

SOIL EROSION AND SEDIMENT CONTROL:

1. SOIL EROSION AND SEDIMENT CONTROL [ESC] MEASURES AND DEVICES SHALL BE INSTALLED/IN EFFECT PRIOR TO THE COMMENCEMENT OF WORK. RETAIN ONE COPY OF THE APPROVED ESC PLAN AT THE SITE AT ALL TIMES.
2. ESC MEASURES AND DEVICES SHALL COMPLY WITH THE ILLINOIS URBAN MANUAL, MWRDGC, AND LOCAL VILLAGE REGULATIONS.
3. SEE SHEETS C-0.1 AND C-1.0 FOR FURTHER INFORMATION.

GRADING AND EARTHWORK:

1. ALL EARTHWORK OPERATIONS, HANDLING, AND TRANSPORT SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. DISPOSAL OF MATERIALS SHALL COMPLY WITH APPLICABLE ENVIRONMENTAL REGULATIONS.
2. CONDUCT EARTHWORK OPERATIONS AS TO MINIMIZE ANY EROSION AND SOIL MIGRATION. MAINTAIN ALL ACCESS WAYS AND ADJACENT PROPERTIES FREE OF DEBRIS, EROSION, DUST, AND SOIL MIGRATION.
3. EARTHWORK AND SOIL PREPARATION SHALL BE PERFORMED IN ACCORDANCE WITH PROJECT SPECIFICATION(S) AND IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT, AS PROVIDED IN PART OF THE PROJECT.
4. IN AREAS RECEIVING NEW PAVEMENT, THE SUBGRADE SHALL BE THOROUGHLY COMPACTED. THE AREA SHALL BE PROOFROLLED PRIOR TO THE PLACEMENT OF THE BASE COURSE; OTHER COMPACTION VERIFICATION METHODS SHALL BE PERMITTED WHERE PROOFROLLING OPERATIONS ARE PROHIBITED OR NOT FEASIBLE.
5. SHAPE SUBGRADE UNDER PAVEMENT TO LINE AND GRADE OF CROSS SECTION. VERIFY SUBGRADE PROFILE PRIOR TO CONSTRUCTING PAVEMENT. EXISTING PAVEMENT ADJACENT TO THE NEW PAVEMENT SHALL BE SAWCUT FULL DEPTH PRIOR TO PLACEMENT OF NEW HMA OR PCC.
6. ADJUST ALL STRUCTURE RIMS/FRAMES/GRATE FLUSH WITH FINISHED GRADE, UNLESS EXPLICITLY NOTED OTHERWISE.
7. FOR AREAS PROPOSED FOR ADA/BARRIER FREE ACCESS, THE CONSTRUCTION TOLERANCES SHALL COMPLY WITH THE SUBJECT REQUIREMENTS SET FORTH BY ADAAG (FEDERAL OR LOCAL, WHICH IS EVER IS MORE STRINGENT). EXERCISE CARE IN THE LAYOUT AND CONSTRUCTION OF CROSS SLOPES, LONGITUDINAL SLOPES, MARKINGS, ETC. IN AFOREMENTIONED AREAS. NOTIFY ENGINEER OF ANY DISCREPANCIES.

UTILITY NOTES (AS APPLICABLE):

1. THE CONTRACTOR IS CAUTIONED THAT UTILITIES SHOWN, OR NOT SHOWN, MAY NOT BE COMPLETE OR ACCURATELY REPRESENTED AT THE SITE AND ADJACENT AREAS. THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS SHOWN ON THE PLANS. NOTIFY ENGINEER OF ANY CONFLICTS, POTENTIAL CONFLICTS, OR OTHER DISCOVERED CONDITIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TESTING AND COORDINATING INSPECTIONS OF ALL WORK. ANY RECONSTRUCTION OR CORRECTIVE ACTION, AS A RESULT OF DEFICIENT WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE VILLAGE PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO THE START OF THE TESTING AND INSPECTION PROCESS.
3. ALL SEWER AND WATER UTILITY WORK SHALL BE IN ACCORDANCE WITH, INCLUDING, BUT NOT LIMITED TO:
 - 3.A. STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION
 - 3.B. MWRDGC
 - 3.C. VILLAGE OF TINLEY PARK
 IN CASE OF CONFLICT OF THE AGENCIES/REFERENCES LISTED (AND NOT LISTED), THE MORE STRINGENT SHALL TAKE PRECEDENCE.
4. SEWER AND WATERMAIN CROSSINGS/PROXIMITY:
 - 4.A. MAINTAIN A MINIMUM 10'-FEET OF HORIZONTAL CLEARANCE BETWEEN SEWERS AND WATERMANS.
 - 4.B. WHENEVER A SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES.
 - 4.C. IN THE EVENT THAT THE CLEARANCES LISTED ABOVE CANNOT BE MET, THE SEWER PIPE/JOINTS SHALL BE INSTALLED WITH A LOCALLY APPROVED WATER QUALITY PIPE MATERIAL. FURNISH AND INSTALL A CASING PIPE TO THE SEWER OR WATERMAIN TO THE EXTENTS OF THE AFOREMENTIONED HORIZONTAL CLEARANCE.
 - 4.D. WHENEVER A SEWER CROSSES OVER A WATERMAIN, THE SEWER PIPE/JOINTS SHALL BE INSTALLED WITH A LOCALLY APPROVED WATER QUALITY PIPE MATERIAL. FURNISH AND INSTALL A CASING PIPE TO THE SEWER OR WATERMAIN TO THE EXTENTS OF THE AFOREMENTIONED HORIZONTAL CLEARANCE.
5. ENSURE ADEQUATE/PROPER SAFETY, SUPPORT, AND PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES DURING UTILITY WORK OPERATIONS.
6. ALL ABANDONED UTILITY PIPES SHALL BE BULKHEADED AND/OR MORTAR PLUGGED AT EACH END, TO THE SATISFACTION OF THE AGENCY HAVING JURISDICTION. PLUG SHALL CONSIST OF NON-SHRINKING GROUT-24 INCHES IN LENGTH.
7. SEWER PIPE/JOINT SPECIFICATIONS:
 - RCP: TYPE III MINIMUM ASTM C76 / ASTM C443
 - DIP: CLASS 52 MINIMUM ANSI A21.51 / ANSI A21.11
 - PVC: SDR-26: ASTM D2241 / ASTM D3139
8. ALL SUBSURFACE DIP SHALL BE INSTALLED WITH POLYWRAP.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING OPERATIONS.
10. ALL INSTALLED UTILITIES ARE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. OBTAIN INSTALLATION APPROVAL(S) FROM AGENCY HAVING JURISDICTION PRIOR TO OPERATION OF SUBJECT UTILITY. PERFORM ALL CHLORINATION, PRESSURE TESTS, PLANARITY, AND OTHER TESTS/REPORTS AS REQUIRED OR REQUESTED BY AGENCY.

DRAINAGE CERTIFICATION:

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF THE SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS DEVELOPMENT OR ANY PART THEREOF, OR THAT IF SUCH SURFACE WATER DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO PUBLIC AREAS OR DRAINS WHICH THE DEVELOPMENT HAS A RIGHT TO USE, AND THAT SUCH SURFACE WATERS WILL BE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THE DEVELOPMENT.

PROJECT NOTES:

1. THE ENGINEERING DOCUMENTS HEREIN HAVE BEEN FURNISHED UTILIZING DESIGN BASE DRAWINGS AND EXISTING CONDITIONS INFORMATION PROVIDED BY THE OWNER. THE BASE DRAWINGS HAVE BEEN ADJUSTED FOR CLARITY. BASE DRAWINGS/EXISTING CONDITIONS REFERENCE PLAT OF SURVEY DATED 11/16/21 BY GREMLEY AND BIEDERMANN, INC. REFER TO ORIGINAL DRAWINGS, PLATS, AND RESOURCE DOCUMENTATION FOR SUBJECT INFORMATION.
2. HORIZONTAL DATUM REFERENCES NAD83. VERTICAL DATUM REFERENCES NGVD88. REFER TO ORIGINAL PLAT FOR FURTHER INFORMATION.
3. PROJECT SITE DISTURBANCE AREA = ±2,941 SQUARE FEET.
4. PROJECT SITE PIN: 28-31-306-046-000
5. REFER TO ARCHITECTURAL PLANS GENERALLY TITLED: 'RJ'S SEAFOOD PROPOSED TENANT BUILDOUT/ADDITION' PREPARED BY FC STUDIO, INC. FOR BUILDING INFORMATION. CONTRACTOR SHALL COORDINATE CONSTRUCTION OF PROPOSED IMPROVEMENTS WITH DESIGN PLANS. NOTIFY ENGINEER OF ANY ENCOUNTERED CONFLICTS, PRIOR TO COMMENCING WITH WORK.
6. SANITARY WASTE FROM SUBJECT PROPERTY TRIBUTARY TO EXISTING MWRDGC 30" SEWER ALONG 183RD STREET.
7. STORMWATER RUNOFF ACCUMULATING ON SUBJECT PROPERTY TRIBUTARY TO HICKORY CREEK VIA VILLAGE STORM INFRASTRUCTURE.

AREA TAKEOFFS:

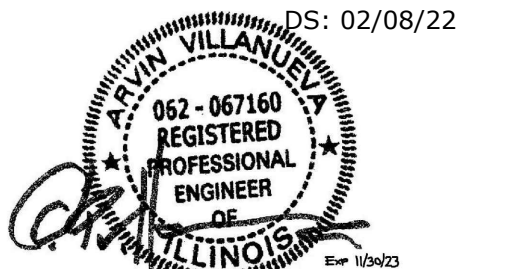
SUBJECT PROPERTY AREA = 35,952 SF (0.82 ACRES)
SUBJECT DEVELOPMENT SITE = ±2,941 SF (0.07 ACRES)

EXISTING SURFACE AREAS:

IMPERVIOUS PAVEMENT = 2,250 SF
LANDSCAPE AREAS = 691 SF
MEAN SURFACE COVER COEFFICIENT = 0.80

PROPOSED SURFACE AREAS:

BUILDING ADDITION = 525 SF
CONCRETE PAVEMENT = 1,523 SF
ASPHALT PAVEMENT = 70 SF
CONCRETE CURB = 35 SF
TOTAL IMPERVIOUS = 2,153 SF
LANDSCAPE AREAS = 788 SF
MEAN SURFACE COVER COEFFICIENT = 0.78



EVA DESIGN AND ENGINEERING, LLC
420 W HURON STREET
CHICAGO IL 60654
MAIN: (312) 291-1846
WEB: WWW.EVA-ENG.COM

FC STUDIO inc.
2545 W Diversey Ave.,
Suite 236
Chicago, IL 60647
312.850.0850

PROPOSED TENANT BUILDOUT / ADDITION

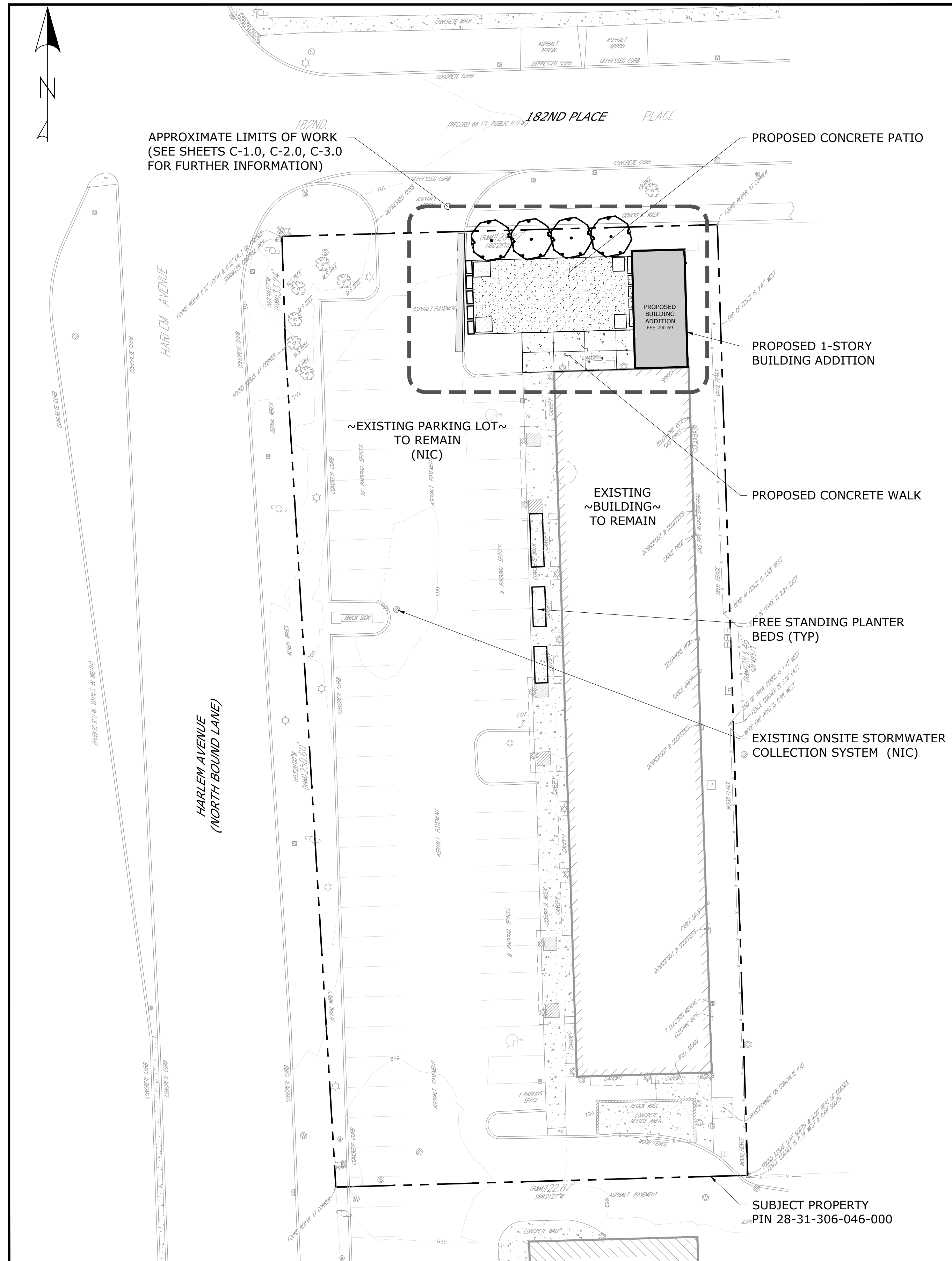
18201 S. Harlem Avenue
Village of Tinley Park, IL

REV#	DATE	NOTES
-	12/17/21	PRELIMINARY ENGINEERING PLANS FOR VILLAGE REVIEW
-	01/12/22	ISSUED FOR VILLAGE REVIEW
Δ	01/21/22	REVISED PER TINLEY PARK PLANNING COMMENTS
Δ	02/08/22	REVISED PER TINLEY PARK PLANNING COMMENTS

GENERAL NOTES

DATE: 12/15/21
SCALE: AS NOTED
BY: APV
CHK: APV
PRJ#: 21036

C-0.0



OVERALL SITE PLAN

SCALE: 1" = 20'

A. REFERENCED SPECIFICATIONS

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF THE FOLLOWING, EXCEPT AS MODIFIED HEREIN OR ON THE PLANS.
 - STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION), BY THE ILLINOIS DEPARTMENT OF TRANSPORTATION (IDOT SS) FOR ALL IMPROVEMENTS EXCEPT SANITARY SEWER AND WATER MAIN CONSTRUCTION;
 - STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION (SSWS) FOR SANITARY SEWER MAIN CONSTRUCTION;
 - VILLAGE OF TINLEY PARK MUNICIPAL CODE;
 - THE METROPOLITAN WATER RECLAMATION DISTRICT OF GREATER CHICAGO (MWRD) WATERSHED MANAGEMENT ORDINANCE AND TECHNICAL GUIDANCE MANUAL;
 - IN CASE OF CONFLICT BETWEEN THE APPLICABLE ORDINANCES NOTED, THE MORE STRINGENT SHALL TAKE PRECEDENCE AND SHALL CONTROL ALL CONSTRUCTION.

B. NOTIFICATIONS

- THE MWRD LOCAL SEWER SYSTEMS SECTION FIELD OFFICE MUST BE NOTIFIED AT LEAST TWO (2) WORKING DAYS PRIOR TO THE COMMENCEMENT OF ANY SEWER WORK (CALL 708-588-4055).
- THE VILLAGE OF TINLEY PARK BUILDING DEPARTMENT AND PUBLIC WORKS MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO THE START OF CONSTRUCTION AND PRIOR TO EACH PHASE OF WORK. CONTRACTOR SHALL DETERMINE ITEMS REQUIRING INSPECTION PRIOR TO START OF CONSTRUCTION OR EACH WORK PHASE.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION FOR THE EXACT LOCATIONS OF UTILITIES AND FOR THEIR PROTECTION DURING CONSTRUCTION. IF EXISTING UTILITIES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, IMMEDIATELY NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED. CALL J.U.L.I.E. AT 1-800-892-0123.

C. GENERAL NOTES

- ALL ELEVATIONS SHOWN ON PLANS REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- MWRD, THE MUNICIPALITY AND THE OWNER OR OWNER'S REPRESENTATIVE SHALL HAVE THE AUTHORITY TO INSPECT, APPROVE, AND REJECT THE CONSTRUCTION IMPROVEMENTS.
- THE CONTRACTOR(S) SHALL INDEMNIFY THE OWNER, ENGINEER, MUNICIPALITY, MWRD, AND THEIR AGENTS, ETC., FROM ALL LIABILITY INVOLVED WITH THE CONSTRUCTION, INSTALLATION, OR TESTING OF THIS WORK ON THE PROJECT.
- THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEERING PLANS AS APPROVED BY MWRD AND THE MUNICIPALITY UNLESS CHANGES ARE APPROVED BY MWRD, THE MUNICIPALITY, OR AUTHORIZED AGENT. THE CONSTRUCTION DETAILS, AS PRESENTED ON THE PLANS, MUST BE FOLLOWED. PROPER CONSTRUCTION TECHNIQUES MUST BE FOLLOWED ON THE IMPROVEMENTS INDICATED ON THE PLANS.
- THE LOCATION OF VARIOUS UNDERGROUND UTILITIES WHICH ARE SHOWN ON THE PLANS ARE FOR INFORMATION ONLY AND REPRESENT THE BEST KNOWLEDGE OF THE ENGINEER. VERIFY LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING THE CONSTRUCTION OPERATIONS.
- ANY EXISTING PAVEMENT, SIDEWALK, DRIVEWAY, ETC., DAMAGED DURING CONSTRUCTION OPERATIONS AND NOT CALLED FOR TO BE REMOVED SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- MATERIAL AND COMPACTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MUNICIPALITY, MWRD, AND OWNER.
- THE UNDERGROUND CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS TO NOTIFY ALL INSPECTION AGENCIES.
- ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS DISTURBED DURING CONSTRUCTION SHALL BE ADJUSTED TO FINISH GRADE PRIOR TO FINAL INSPECTION.
- RECORD DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE ENGINEER AS SOON AS UNDERGROUND IMPROVEMENTS ARE COMPLETED. ANY CHANGES IN LENGTH, LOCATION OR ALIGNMENT SHALL BE SHOWN IN RED. ALL WYES OR BENDS SHALL BE LOCATED FROM THE DOWNSTREAM MANHOLE.

D. SANITARY SEWER

- THE CONTRACTOR SHALL TAKE MEASURES TO PREVENT ANY POLLUTED WATER, SUCH AS GROUND AND SURFACE WATER, FROM ENTERING THE EXISTING SANITARY SEWERS.
- A WATER-TIGHT PLUG SHALL BE INSTALLED IN THE DOWNSTREAM SEWER PIPE AT THE POINT OF SEWER CONNECTION PRIOR TO COMMENCING ANY SEWER CONSTRUCTION. THE PLUG SHALL REMAIN IN PLACE UNTIL REMOVAL IS AUTHORIZED BY THE MUNICIPALITY AND/OR MWRD AFTER THE SEWERS HAVE BEEN TESTED AND ACCEPTED.
- DISCHARGING ANY UNPOLLUTED WATER INTO THE SANITARY SEWER SYSTEM FOR THE PURPOSE OF SEWER FLUSHING OF LINES FOR THE DEFLECTION TEST SHALL BE PROHIBITED WITHOUT PRIOR APPROVAL FROM THE MUNICIPALITY OR MWRD.
- ALL SANITARY SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS (LATEST EDITION).
- FLOOR DRAINS SHALL DISCHARGE TO THE SANITARY SEWER SYSTEM.
- ALL DOWNSPOUTS AND FOOTING DRAINS SHALL DISCHARGE TO THE STORM SEWER SYSTEM.
- ALL SANITARY SEWER PIPE MATERIALS AND JOINTS (AND STORM SEWER PIPE MATERIALS AND JOINTS IN A COMBINED SEWER AREA) SHALL CONFORM TO THE FOLLOWING:

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
VITRIFIED CLAY PIPE	ASTM C-700	ASTM C-425
REINFORCED CONCRETE SEWER PIPE	ASTM C-76	ASTM C-443
CAST IRON SOIL PIPE	ASTM A-74	ASTM C-564
DUCTILE IRON PIPE	ANSI A21.51	ANSI A21.11
POLYVINYL CHLORIDE (PVC) PIPE		
6-INCH TO 15-INCH DIAMETER SDR 26	ASTM D-3034	ASTM D-3212
18-INCH TO 27-INCH DIAMETER F/DY=46	ASTM F-679	ASTM D-3212
HIGH DENSITY POLYETHYLENE (HDPE)		
ASTM D-3350	ASTM D-3261, F-2620 (HEAT FUSION)	
ASTM D-3035	ASTM D-3212, F-477 (GASKETED)	
WATER MAIN QUALITY [WQ] PVC		
4-INCH TO 36-INCH	ASTM D-2241	ASTM D-3139
4-INCH TO 12-INCH	AWWA C900	ASTM D-3139
14-INCH TO 48-INCH	AWWA C905	ASTM D-3139

THE FOLLOWING MATERIALS ARE ALLOWED ON A QUALIFIED BASIS SUBJECT TO DISTRICT REVIEW AND APPROVAL PRIOR TO PERMIT ISSUANCE. A SPECIAL CONDITION WILL BE ADDED TO THE PERMIT WHEN THE PIPE MATERIAL BELOW IS USED FOR SEWER CONSTRUCTION OR A CONNECTION IS MADE.

PIPE MATERIAL	PIPE SPECIFICATIONS	JOINT SPECIFICATIONS
POLYPROPYLENE (PP) PIPE		
12-INCH TO 24-INCH DOUBLE WALL	ASTM F-2736	D-3212, F-477
30-INCH TO 60-INCH TRIPLE WALL	ASTM F-2764	D3212, F-477

- ALL SANITARY SEWER CONSTRUCTION (AND STORM SEWER CONSTRUCTION IN COMBINED SEWER AREAS), REQUIRES STONE BEDDING WITH STONE 1/4" TO 1" IN SIZE, WITH MINIMUM BEDDING THICKNESS EQUAL TO 1/4 THE OUTSIDE DIAMETER OF THE SEWER PIPE, BUT NOT LESS THAN FOUR (4) INCHES NOR MORE THAN EIGHT (8) INCHES. MATERIAL SHALL BE CA-7, CA-11 OR CA-13 AND SHALL BE EXTENDED AT LEAST 12" ABOVE THE TOP OF THE PIPE WHEN USING PVC.
- NON-SHEAR FLEXIBLE-TYPE COUPLINGS SHALL BE USED IN THE CONNECTION OF SEWER PIPES OF DISSIMILAR PIPE MATERIALS.
- ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS. SANITARY LIDS SHALL BE CONSTRUCTED WITH A CONCEALED PICKHOLE AND WATERTIGHT GASKET WITH THE WORD "SANITARY" CAST INTO THE LID.
- WHEN CONNECTING TO AN EXISTING SEWER MAIN BY MEANS OTHER THAN AN EXISTING WYE, TEE, OR AN EXISTING MANHOLE, ONE OF THE FOLLOWING METHODS SHALL BE USED:
 - A CIRCULAR SAW-CUT OF SEWER MAIN BY PROPER TOOLS ("SEWER-TAP" MACHINE OR SIMILAR) AND PROPER INSTALLATION OF HUB/WYE SADDLE OR HUB-TEE SADDLE.
 - REMOVE AN ENTIRE SECTION OF PIPE (BREAKING ONLY THE TOP OF ONE BELL) AND REPLACE WITH A WYE OR TEE BRANCH SECTION.
 - WITH PIPE CUTTER, NEATLY AND ACCURATELY CUT OUT DESIRED LENGTH OF PIPE FOR INSERTION OF PROPER FITTING, USING "BAND SEAL" OR SIMILAR COUPLINGS TO HOLD IT FIRMLY IN PLACE.

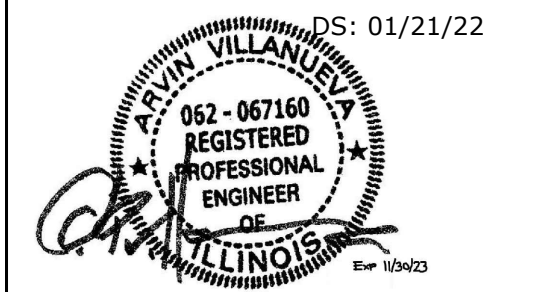
D. SANITARY SEWER (CONTINUED)...

- WHENEVER A SANITARY/COMBINED SEWER CROSSES UNDER A WATERMAIN, THE MINIMUM VERTICAL DISTANCE FROM THE TOP OF THE SEWER TO THE BOTTOM OF THE WATERMAIN SHALL BE 18 INCHES. FURTHERMORE, A MINIMUM HORIZONTAL DISTANCE OF 10 FEET BETWEEN SANITARY/COMBINED SEWERS AND WATERMAINS SHALL BE MAINTAINED UNLESS: THE SEWER IS LAID IN A SEPARATE TRENCH, KEEPING A MINIMUM 18" VERTICAL SEPARATION; OR THE SEWER IS LAID IN THE SAME TRENCH WITH THE WATERMAIN LOCATED AT THE OPPOSITE SIDE ON A BENCH OF UNDISTURBED EARTH, KEEPING A MINIMUM 18" VERTICAL SEPARATION. IF EITHER THE VERTICAL OR HORIZONTAL DISTANCES DESCRIBED CANNOT BE MAINTAINED, OR THE SEWER CROSSES ABOVE THE WATER MAIN, THE SEWER SHALL BE CONSTRUCTED TO WATER MAIN STANDARDS OR IT SHALL BE ENCASED WITH A WATER MAIN QUALITY CARRIER PIPE WITH THE ENDS SEALED.
- ALL EXISTING SEPTIC SYSTEMS SHALL BE ABANDONED. ABANDONED TANKS SHALL BE FILLED WITH GRANULAR MATERIAL OR REMOVED.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE A MINIMUM INSIDE DIAMETER OF 48 INCHES, AND SHALL BE CAST IN PLACE OR PRE-CAST REINFORCED CONCRETE.
- ALL SANITARY MANHOLES, (AND STORM MANHOLES IN COMBINED SEWER AREAS), SHALL HAVE PRECAST "RUBBER BOOTS" THAT CONFORM TO ASTM C-923 FOR ALL PIPE CONNECTIONS. PRECAST SECTIONS SHALL CONSIST OF MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS.
- ALL ABANDONED SANITARY SEWERS SHALL BE PLUGGED AT BOTH ENDS WITH AT LEAST 2 FEET LONG NON-SHRINK CONCRETE OR MORTAR PLUG.
- EXCEPT FOR FOUNDATION/FOOTING DRAINS PROVIDED TO PROTECT BUILDINGS, OR PERFORATED PIPES ASSOCIATED WITH VOLUME CONTROL FACILITIES, DRAIN TILES/FIELD TILES/UNDERDRAINS/PERFORATED PIPES ARE NOT ALLOWED TO BE CONNECTED TO OR TRIBUTARY TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS IN COMBINED SEWER AREAS. CONSTRUCTION OF NEW FACILITIES OF THIS TYPE IS PROHIBITED; AND ALL EXISTING DRAIN TILES AND PERFORATED PIPES ENCOUNTERED WITHIN THE PROJECT AREA SHALL BE PLUGGED OR REMOVED, AND SHALL NOT BE CONNECTED TO COMBINED SEWERS, SANITARY SEWERS, OR STORM SEWERS TRIBUTARY TO COMBINED SEWERS WITHOUT APPROVAL FROM THE DISTRICT.
- A BACKFLOW PREVENTER IS REQUIRED FOR ALL DETENTION BASINS TRIBUTARY TO COMBINED SEWERS. REQUIRED BACKFLOW PREVENTERS SHALL BE INSPECTED AND EXERCISED ANNUALLY BY THE PROPERTY OWNER TO ENSURE PROPER OPERATION, AND ANY NECESSARY MAINTENANCES SHALL BE PERFORMED TO ENSURE FUNCTIONALITY. IN THE EVENT OF A SEWER SURCHARGE INTO AN OPEN DETENTION BASIN TRIBUTARY TO COMBINED SEWERS, THE PERMITTEE SHALL ENSURE THAT CLEAN UP AND WASH OUT OF SEWAGE TAKES PLACE WITHIN 48 HOURS OF THE STORM EVENT.

E. EROSION AND SEDIMENT CONTROL

- THE CONTRACTOR SHALL INSTALL THE EROSION AND SEDIMENT CONTROL DEVICES AS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN.
- EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE FUNCTIONAL PRIOR TO HYDROLOGIC DISTURBANCE OF THE SITE.
- ALL DESIGN CRITERIA, SPECIFICATIONS, AND INSTALLATION OF EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
- INSPECTIONS AND DOCUMENTATION SHALL BE PERFORMED, AT A MINIMUM:
 - UPON COMPLETION OF INITIAL EROSION AND SEDIMENT CONTROL MEASURES, PRIOR TO ANY SOIL DISTURBANCE.
 - ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT WITH GREATER THAN 0.5 INCH OF RAINFALL OR LIQUID EQUIVALENT PRECIPITATION.
- SOIL DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER AS TO MINIMIZE EROSION. IF STRIPPING, CLEARING, GRADING, OR LANDSCAPING ARE TO BE DONE IN PHASES, THE CO-PERMITTEE SHALL PLAN FOR APPROPRIATE SOIL EROSION AND SEDIMENT CONTROL MEASURES.
- A STABILIZED MAT OF CRUSHED STONE MEETING THE STANDARDS OF THE ILLINOIS URBAN MANUAL SHALL BE INSTALLED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE. SEDIMENT OR SOIL REACHING AN IMPROVED PUBLIC RIGHT-OF-WAY, STREET, ALLEY OR PARKING AREA SHALL BE REMOVED BY SCRAPING OR STREET CLEANING AS ACCUMULATIONS WARRANT AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- CONCRETE WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ILLINOIS URBAN MANUAL AND SHALL BE INSTALLED PRIOR TO ANY ON SITE CONSTRUCTION ACTIVITIES INVOLVING CONCRETE.
- MORTAR WASHOUT FACILITIES SHALL BE CONSTRUCTED IN ADDITION TO CONCRETE WASHOUT FACILITIES FOR ANY BRICK AND MORTAR BUILDING ENVELOPE CONSTRUCTION ACTIVITIES.
- TEMPORARY DIVERSIONS SHALL BE CONSTRUCTED AS NECESSARY TO DIRECT ALL RUNOFF FROM HYDROLOGICALLY DISTURBED AREAS TO AN APPROPRIATE SEDIMENT TRAP OR BASIN. VOLUME CONTROL FACILITIES SHALL NOT BE USED AS TEMPORARY SEDIMENT BASINS.
- DISTURBED AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED SHALL BE STABILIZED WITH TEMPORARY OR PERMANENT MEASURES WITHIN SEVEN (7) DAYS.
- ALL FLOOD PROTECTION AREAS AND VOLUME CONTROL FACILITIES SHALL, AT A MINIMUM, BE PROTECTED WITH A DOUBLE-ROW OF SILT FENCE (OR EQUIVALENT).
- VOLUME CONTROL FACILITIES SHALL NOT BE CONSTRUCTED UNTIL ALL OF THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
- SOIL STOCKPILES SHALL, AT A MINIMUM, BE PROTECTED WITH PERIMETER SEDIMENT CONTROLS. SOIL STOCKPILES SHALL NOT BE PLACED IN FLOOD PROTECTION AREAS OR THEIR BUFFERS.
- EARTHEN EMBANKMENT SIDE SLOPES SHALL BE STABILIZED WITH APPROPRIATE EROSION CONTROL BLANKET.
- STORM SEWERS THAT ARE OR WILL BE FUNCTIONING DURING CONSTRUCTION SHALL BE PROTECTED BY APPROPRIATE SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL EITHER REMOVE OR REPLACE ANY EXISTING DRAIN TILES AND INCORPORATE THEM INTO THE DRAINAGE PLAN FOR THE DEVELOPMENT. DRAIN TILES CANNOT BE TRIBUTARY TO A SANITARY OR COMBINED SEWER. DRAIN TILES ALLOWED IN COMBINED SEWER AREA FOR GREEN INFRASTRUCTURE PRACTICES.
- IF DEWATERING SERVICES ARE USED, ADJOINING PROPERTIES AND DISCHARGE LOCATIONS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION. DEWATERING SYSTEMS SHOULD BE INSPECTED DAILY DURING OPERATIONAL PERIODS. THE SITE INSPECTOR MUST BE PRESENT AT THE COMMENCEMENT OF DEWATERING ACTIVITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TRENCH DEWATERING AND EXCAVATION FOR THE INSTALLATION OF SANITARY SEWERS, STORM SEWERS, WATERMAINS AS WELL AS THEIR SERVICES AND OTHER APPURTENANCES. ANY TRENCH DEWATERING, WHICH CONTAINS SEDIMENT SHALL PASS THROUGH A SEDIMENT SETTLING POND OR EQUALLY EFFECTIVE SEDIMENT CONTROL DEVICE. ALTERNATIVES MAY INCLUDE DEWATERING INTO A SUMP PIT, FILTER BAG OR EXISTING VEGETATED UPSLOPE AREA. SEDIMENT LADEN WATERS SHALL NOT BE DISCHARGED TO WATERWAYS, FLOOD PROTECTION AREAS OR THE COMBINED SEWER SYSTEM.
- ALL PERMANENT EROSION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS FOLLOWING THE COMPLETION OF SOIL DISTURBING ACTIVITIES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NEEDED ON A YEAR-ROUND BASIS DURING CONSTRUCTION AND ANY PERIODS OF CONSTRUCTION SHUTDOWN UNTIL PERMANENT STABILIZATION IS ACHIEVED.
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN THIRTY (30) DAYS AFTER PERMANENT SITE STABILIZATION.
- THE EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE ENGINEER, SITE INSPECTOR, OR MWRD.

MWRD NOTES REFERENCED FROM TGM 7/12/18



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312.850.0850

CIVIL ENGINEER
ARCHITECT

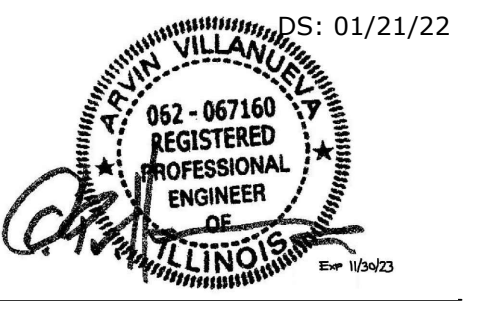
PROPOSED TENANT BUILDOUT / ADDITION
18201 S. Harlem Avenue
Village of Tinley Park, IL

REV#	DATE	NOTES
1	12/17/21	PRELIMINARY ENGINEERING PLANS FOR VILLAGE REVIEW
2	01/12/22	ISSUED FOR VILLAGE REVIEW
Δ	01/21/22	REVISED PER TINLEY PARK PLANNING COMMENTS

OVERALL SITE PLAN AND MWRD NOTES

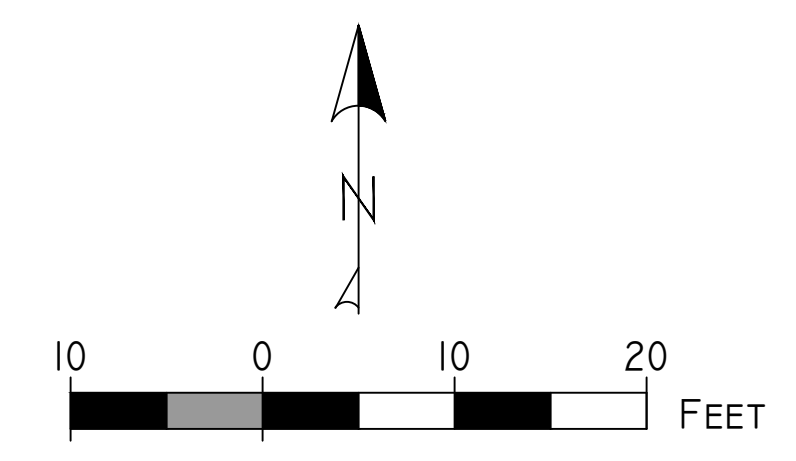
DATE: 12/15/21
SCALE: AS NOTED
BY: APV
CHK: APV
PR#: 21036

C-0.1



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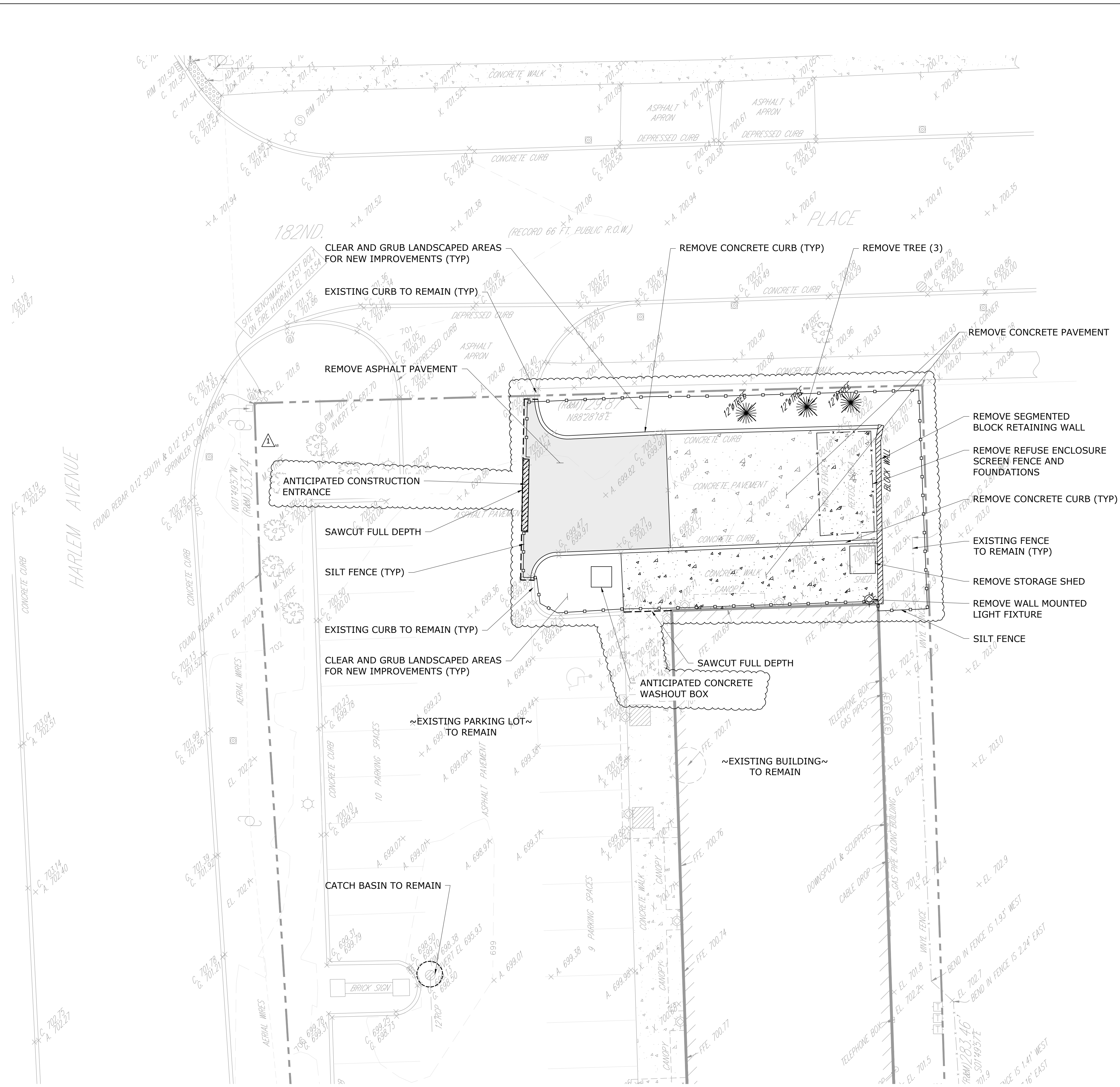


LEGEND

- REMOVE ASPHALT PAVEMENT
- REMOVE CONCRETE PAVEMENT
- CONSTRUCTION ENTRANCE
- TREE/STRUCTURE TO BE REMOVED
- TREE/STRUCTURE TO BE REMAIN AND BE PROTECTED
- SILT FENCE
- SAWCUT (FULL DEPTH)

PLAN NOTES:

1. FIELD VERIFY EXISTING CONDITIONS AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. COORDINATE PAVEMENT REMOVALS EXTENTS WITH PROPOSED IMPROVEMENTS. SEE SHEET C-2.0.
3. MAINTAIN ACCESS TO PARKING LOT AT ALL TIMES. COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WITH OWNER.
4. SEE ARCHITECTURAL PLANS FOR SELECT BUILDING REMOVALS AND/OR RENOVATION SCOPE.
5. CONTRACTOR SHALL SECURE SUBJECT CONSTRUCTION SITE IN ACCORDANCE WITH VILLAGE REQUIREMENTS. TEMPORARY CONSTRUCTION FENCE NOT SHOWN HEREIN. COORDINATE EXTENTS OF TEMPORARY FENCING, SEQUENCING, AND LOGISTICS WITH OWNER.
6. COORDINATE REMOVALS WITH OWNER PRIOR COMMENCING WITH DEMOLITION OPERATIONS.
7. REMOVE ESC MEASURES UPON STABILIZATION OF SITE. REFER TO SHEET C-0.0 AND C-0.1 FOR FURTHER ESC INFORMATION.



SITE REMOVALS AND EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 10'

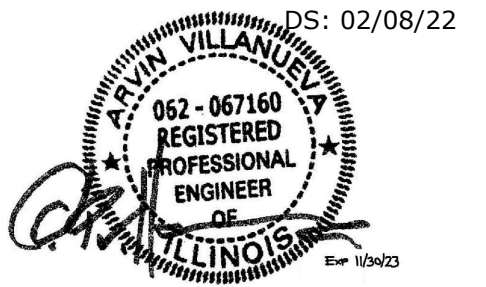
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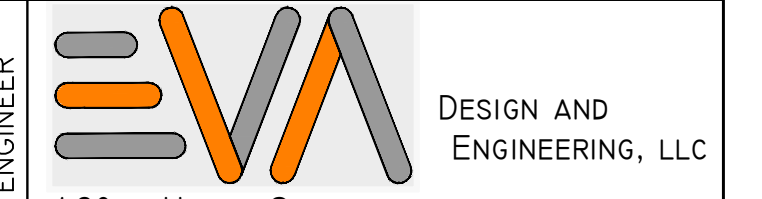
SITE REMOVALS AND ESC PLAN

DATE: 12/15/21
SCALE: AS NOTED
BY: APV
CHK: APV
PRJ#: 21036

C-1.0



DS: 02/08/22

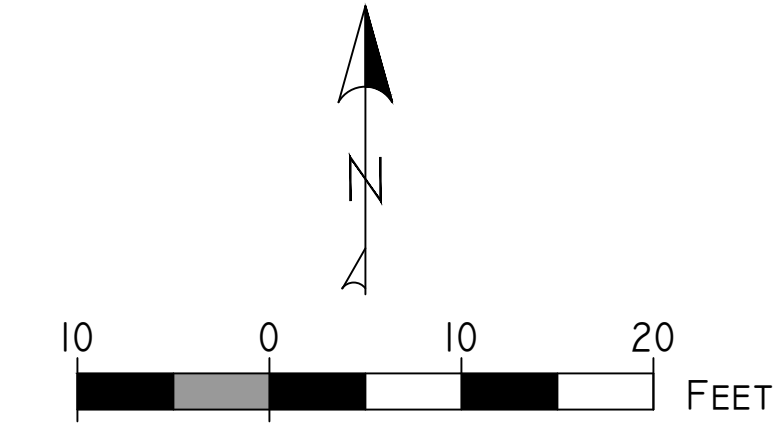


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CIVIL ENGINEER

ARCHITECT

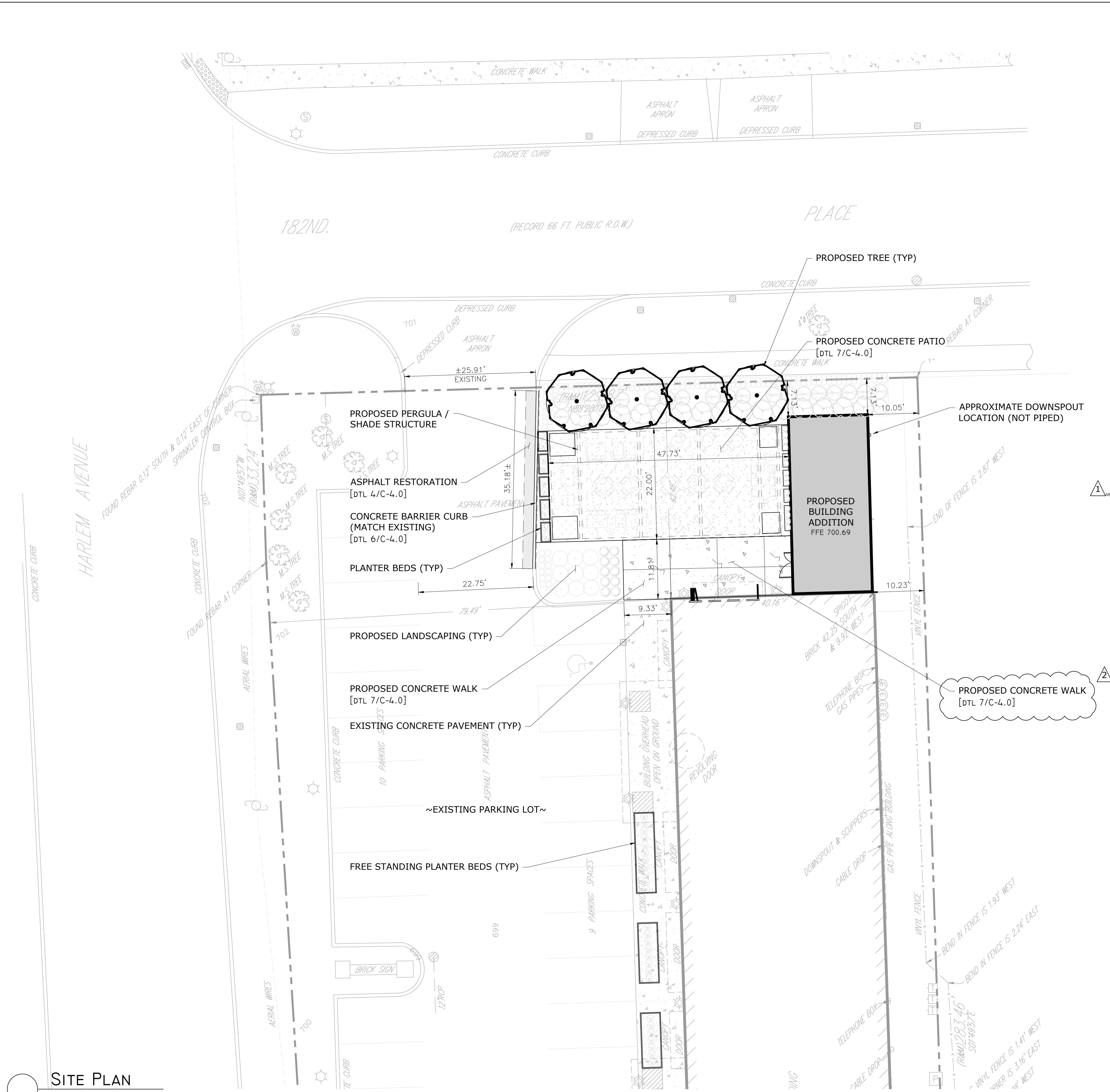


LEGEND

- PROPOSED BUILDING ADDITION
- PROPOSED CONCRETE WALKWAY
- PROPOSED CONCRETE PATIO
- PROPOSED ASPHALT RESTORATION
- PROPOSED BARRIER CURB
- BUILDING OVERHANG ABOVE

PLAN NOTES:

1. REFER TO ARCHITECTURAL PLANS FOR BUILDING AND PERGULA / SHADE STRUCTURE INFORMATION.
2. EXTERIOR SITE FURNISHINGS (IE. TABLES, SEATING, ETC.) SHOWN FOR INFORMATIONAL AND REFERENCE PURPOSES ONLY.
3. LANDSCAPE IMPROVEMENTS SHOWN FOR REFERENCE. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION.
4. SEED OR SOD SHALL BE PLACED TO RESTORE LAWN AREAS DISTURBED ALONG SIDEWALK AND CONSTRUCTION ACTIVITIES.



SITE PLAN
SCALE: 1" = 10'

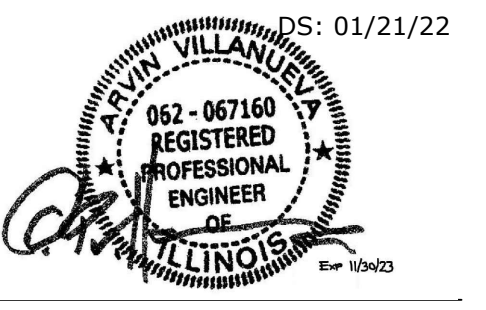
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SITE PLAN

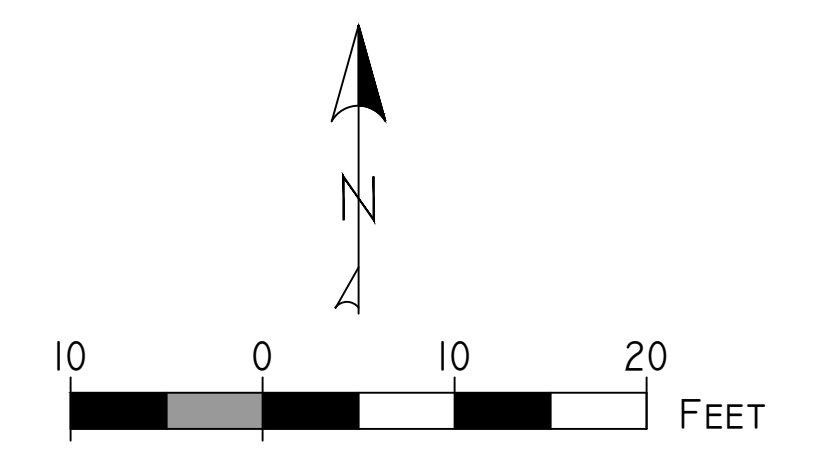
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C-2.0
Sheet 4 of 6



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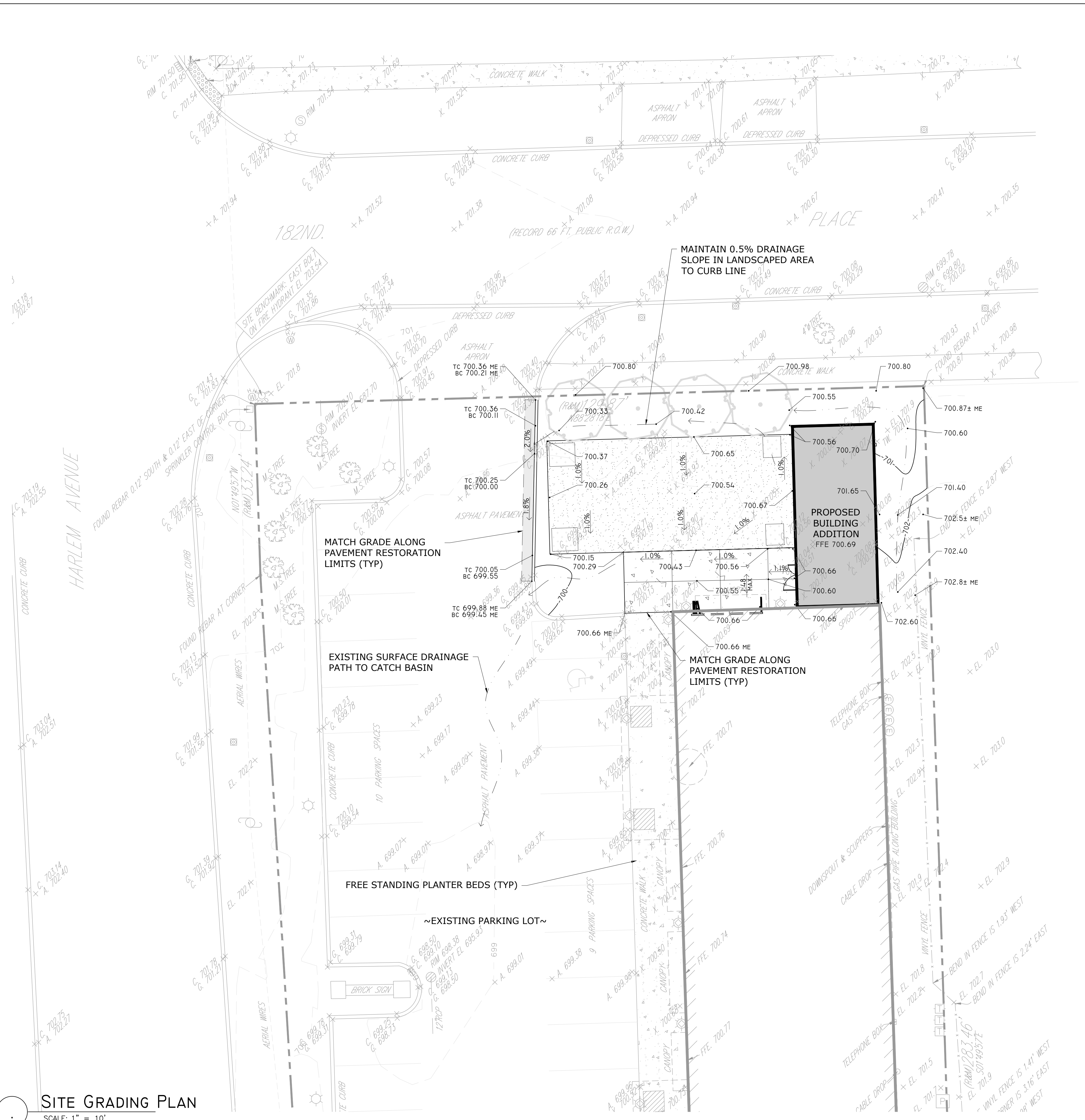


LEGEND

- PROPOSED BUILDING ADDITION
- PROPOSED CONCRETE WALKWAY
- PROPOSED CONCRETE PATIO
- PROPOSED ASPHALT RESTORATION
- PROPOSED BARRIER CURB
- BUILDING OVERHANG ABOVE
- SURFACE SLOPE
- PROPOSED TOPOLOGY
TC/BC = TOP/BOTTOM OF CURB ELEVATION
VIF = VERIFY FIELD CONDITIONS
ME = MATCH EXISTING GRADE
FFE = FINISHED FLOOR ELEVATION
AR = ADJUST FRAME AND RIM ELEVATION

PLAN NOTES:

1. SELECT EXISTING CONTOUR INFORMATION SHOWN SCHEMATICALLY. VERIFY ELEVATIONS IN FIELD. NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. REFER TO ARCHITECTURAL PLANS FOR BUILDING FOUNDATION INFORMATION AND WATERPROOFING ALONG EXTERIOR WALLS.
3. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ENSURE NO BIRD BATHS AND PUDDLES ON PAVED SURFACES. PROVIDE POSITIVE SURFACE DRAINAGE OFF PAVEMENTS TO GUTTERS AND INLETS.



SITE GRADING PLAN
SCALE: 1" = 10'

PROPOSED TENANT BUILDOUT / ADDITION
18201 S. Harlem Avenue
Village of Tinley Park, IL

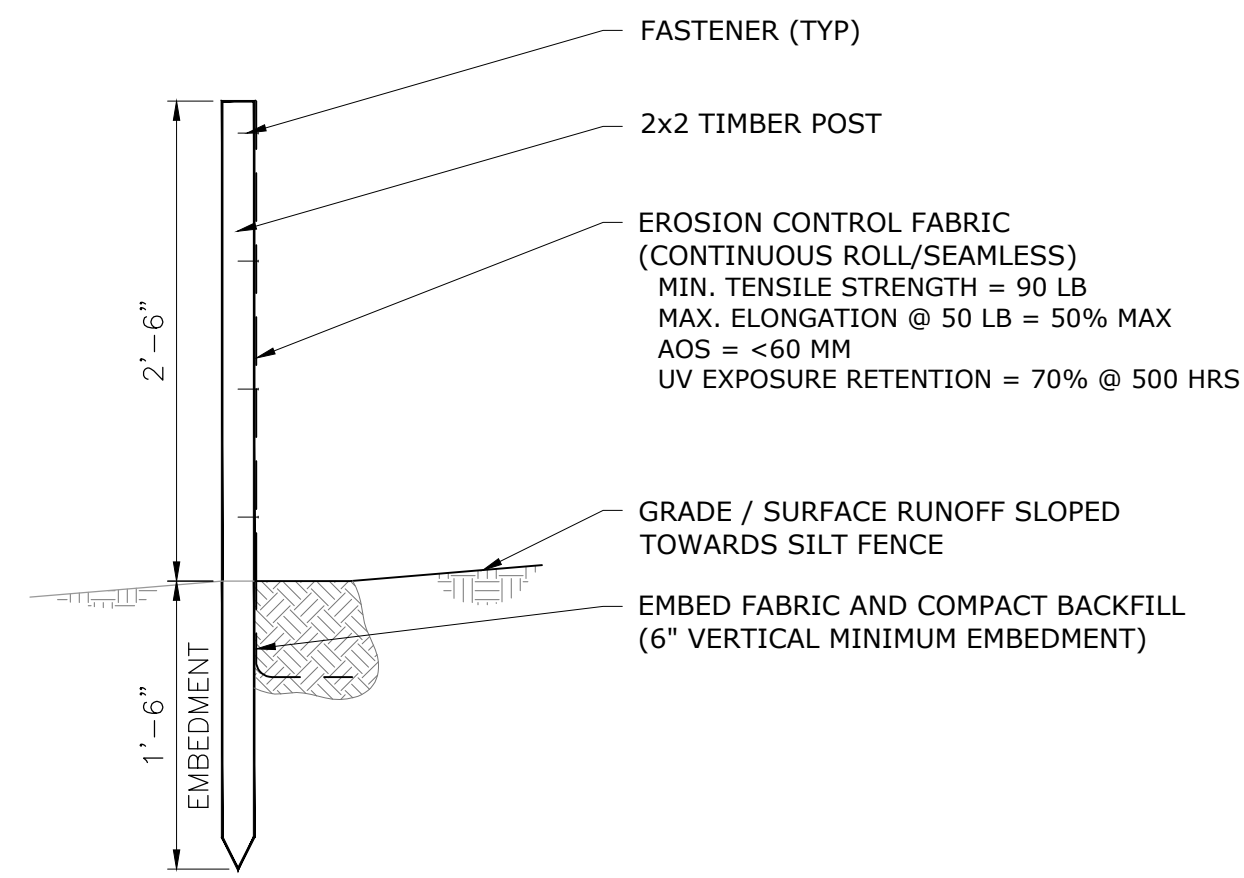
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SITE GRADING PLAN

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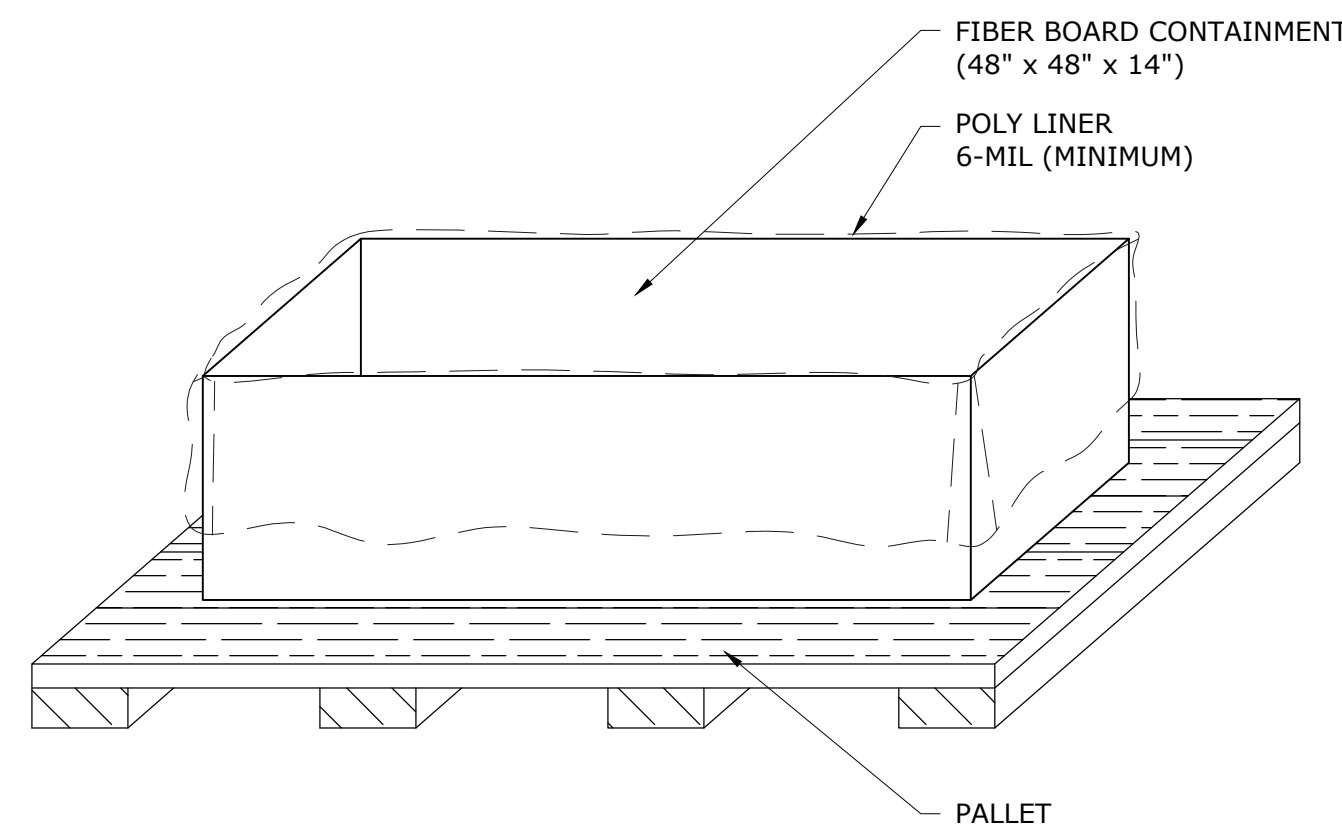
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Sheet 5 of 6



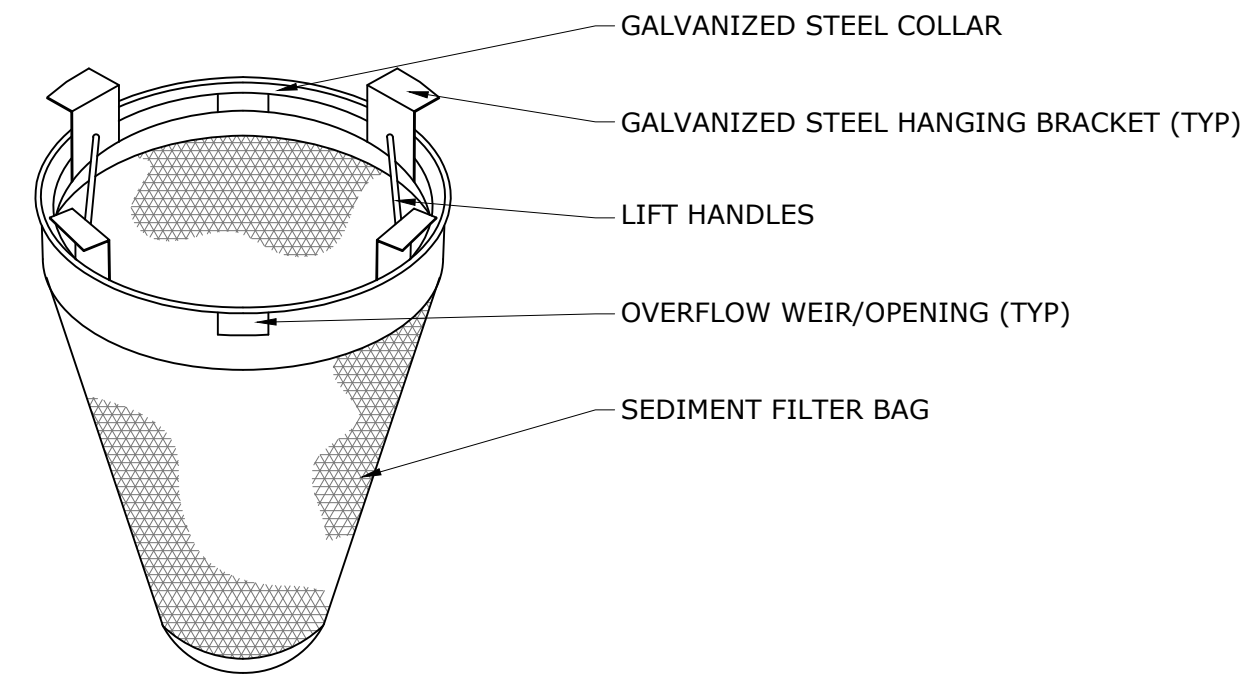
- NOTES:**
- SILT FENCE SHALL BE INSTALLED PRIOR TO ANY GRADING OPERATIONS IN THE AREA THAT IS TO BE PROTECTED. THE FENCE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND REMOVED IN CONJUNCTION WITH THE FINAL GRADING AND SITE STABILIZATION.
 - TIMBER POST SHALL HAVE A MINIMUM CROSS-SECTIONAL AREA OF 3 SQUARE INCHES. DRIVE POST A MINIMUM EMBEDMENT OF 18".
 - AT FABRIC JOINTS PLACE THE END POST OF THE ADJACENT SILT FENCE INSIDE THE END POST OF THE PRIOR SILT FENCE. INTERTWINE BOTH POSTS WITH A 180 DEGREE ROTATION IN A CLOCKWISE DIRECTION TO CREATE A TIGHT SEAL FOR THE ADJOINING FABRIC MATERIAL/ROLL.
 - SET PLACE POST 5' O.C. (MAXIMUM).
 - FASTEN FABRIC SECURELY TO POSTS WITH #9 GAGE FASTENERS (MIN)--USE A MINIMUM FOUR FASTENERS PER POST, SET EQUIDISTANT.

1 SILT FENCE
SCALE: N.T.S.



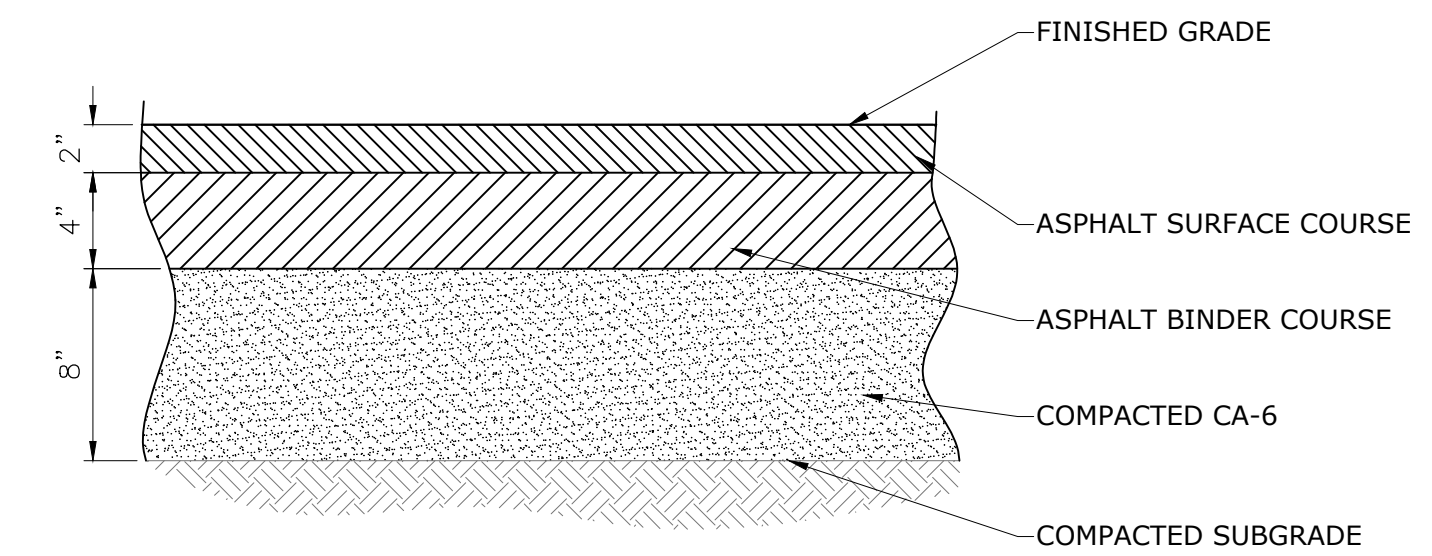
- NOTES:**
- WASTE CONTAINMENT BOX FOR CONCRETE AND/OR MORTAR WASHOUT ONLY. MINIMIZE EXCESS WASTE OF MATERIALS.
 - CONTRACTOR TO VERIFY CONTAINMENT BOX SIZE TO ACCOUNT FOR ANTICIPATED MATERIAL WASTE AND DISPOSAL. ADJUST CONTAINMENT BOX SIZE AS NECESSARY. OTHER CONTAINMENT BOX MATERIALS MAY BE USED UPON APPROVAL BY ENGINEER--SUBMIT ALTERNATIVE SYSTEM DETAILS TO ENGINEER FOR REVIEW/APPROVAL.
 - SET CONTAINMENT BOX ATOP OF PALLET. ENSURE PALLET IS ON STABILIZED AND LEVEL SURFACE AND PICKUP/RETRIEVAL.
 - INSTALL AND SECURE POLYLINER WITHIN CONTAINMENT BOX. POLYLINER SHALL BE 6 MILS THICK. DRAPE LINER OVER CONTAINMENT EDGE, A MINIMUM OF 8".
 - SCHEDULE PICKUP/RETRIEVAL OF WASTE ACCORDINGLY. DISPOSE LEGALLY.

2 CONCRETE WASHOUT BOX
SCALE: N.T.S.



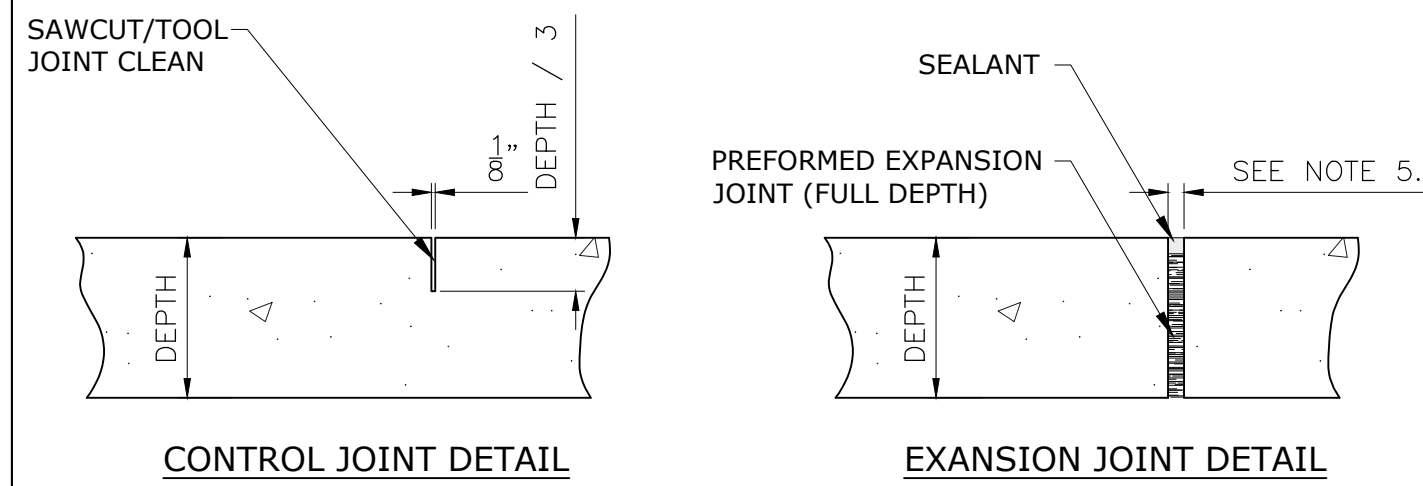
- NOTE:**
- ROUTINELY INSPECT AND CLEAR DEBRIS AND SEDIMENT ACCUMULATING IN INLET FILTER.
 - DIAMETER/CATCHMENT AREA OF INLET FILTER SHALL ACCOMMODATE SIZE/GEOMETRY OF SUBJECT INLET STRUCTURE/GRATE.
 - INSTALL INLET FILTER IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. SUBMIT PRODUCT DATA/TECHNICAL SHEETS TO ENGINEER FOR REVIEW/APPROVAL.
 - FILTER BAG SHALL COMPLY WITH NRCS: GEOTEXTILE 592 CLASS 1.
 - FILTERED FLOW RATE SHALL BE RATED FOR 1.0 CFS OR GREATER.

3 INLET FILTER
SCALE: N.T.S.



- NOTES:**
- MAINTAIN 1.0% MINIMUM SLOPE ON FINISHED SURFACE (ANY DIRECTION) TO DEDICATED DRAINAGE PATH.
 - FURNISH AND INSTALL PAVEMENT IN ACCORDANCE WITH IDOT SSRBC 2016. SURFACE COURSE SHALL BE N50 IL-9.5; BINDER COURSE SHALL BE N50 IL-19.0, OR AS APPROVED BY ENGINEER.
 - COMPACT AGGREGATE BASE IN 8" LIFTS (MAX).
 - INSTALL TACK COAT ACCORDING TO MANUFACTURER'S SPECIFICATIONS.

4 HMA PAVEMENT SECTION
SCALE: N.T.S.

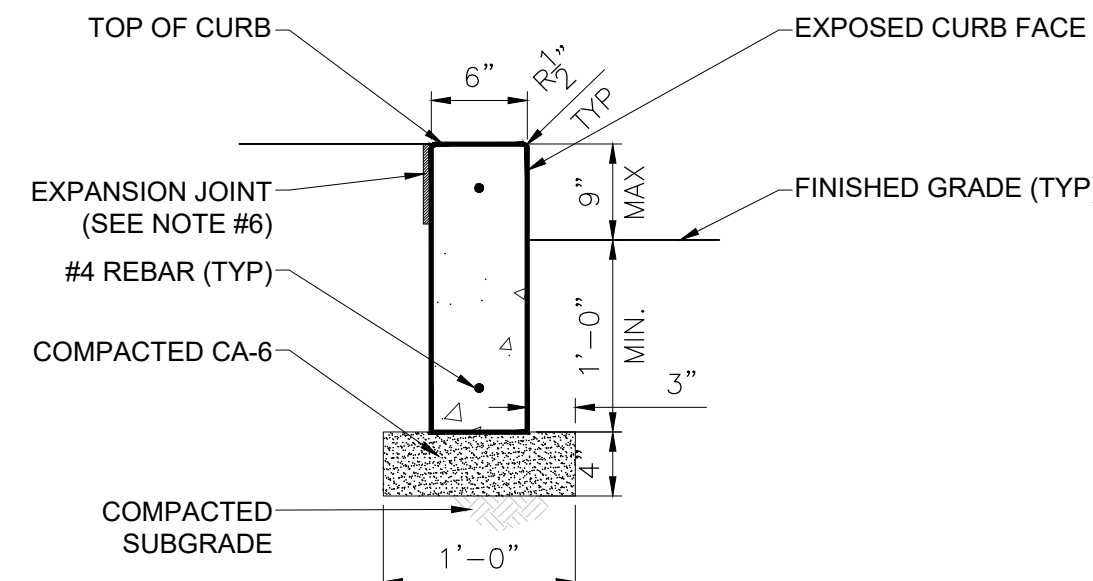


CONTROL JOINT DETAIL

EXPANSION JOINT DETAIL

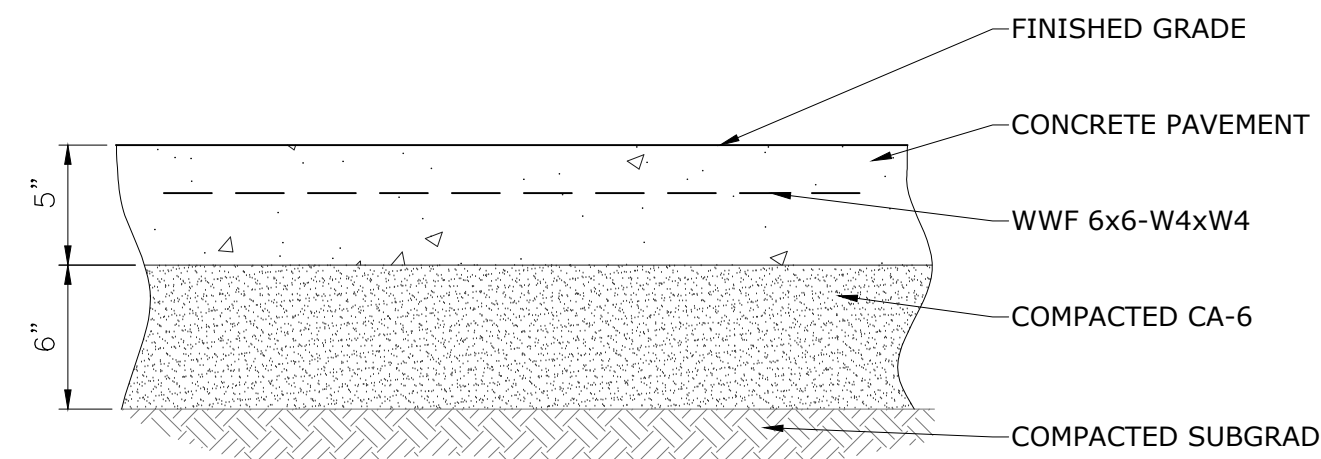
- NOTES:**
- INSTALL CONTROL JOINTS WHERE SPECIFIED.
 - PROVIDE GUIDES AS NECESSARY TO ENSURE PLUMB AND CONTINUOUS JOINTS..
 - JOINTS SHALL BE SAWCUT WITH ROTARY TOOL. TOOLED JOINTS ARE ACCEPTABLE PROVIDED THAT IT MEETS THE SPECIFIED FINISH HEREIN.
 - REFER TO CONCRETE PAVEMENT DETAIL FOR SPECIFIED DEPTH.
 - FURNISH AND INSTALL 3/8" PREFORMED BITUMINOUS EXPANSION JOINTS 50' O.C. AND WHERE PAVEMENT ABUTS RIGID STRUCTURE /ELEMENT. FOR PAVEMENTS IN PUBLIC RIGHT OF WAY (WALKS/CURBS/ETC.), PREFORMED BITUMINOUS EXPANSION JOINT SHALL BE 3/8".
 - RECESS EXPANSION JOINTS 1" TO ALLOW FOR SEALANT INSTALLATION.
 - SEALANT SHALL BE LIQUID SILICON OR HOT MIX RUBBER FLUID. COLOR PER ARCHITECT/ENGINEER. PREFORMED EXPANSION JOINTS WITH INTEGRATED CAPS AND FOAM SEALS MAY BE ACCEPTABLE. SUBMIT PRODUCT DATA AND STANDARD COLOR OPTIONS FOR ENGINEER SELECTION/APPROVAL.

5 CONTROL JOINT DETAIL
SCALE: N.T.S.



- NOTES:**
- REBAR(S) SHALL MAINTAIN 2-1/2" (MIN) COVER FROM EXTENTS OF CONCRETE SURFACE.
 - REFER TO PLANS FOR TOP OF CURB ELEVATIONS AND CURB FACE EXPOSURE.
 - CONCRETE SHALL BE 3,500 PSI, A/E. LIGHT BROOM FINISH TOP OF CONCRETE CURB; RUB FINISH ON EXPOSED CURB FACE.
 - PROVIDE 3/8" PREFORMED EXPANSION JOINT WHERE CURB ABUTS RIGID PAVEMENT AND STRUCTURES.
 - REFER TO PLANS AND DETAILS FOR ADJACENT SURFACE INFORMATION.
 - SET 3/8" PREFORMED EXPANSION JOINTS 30' O.C. AND CONTROL JOINTS 10' O.C. WHERE CURB ABUTS CONCRETE PAVEMENT. ALIGN JOINTS WITH ADJACENT CONCRETE PAVEMENT JOINTS.

6 BARRIER CURB DETAIL
SCALE: N.T.S.



- NOTES:**
- MAINTAIN 1.0% MINIMUM SLOPE ON FINISHED SURFACE (ANY DIRECTION) TO DEDICATED DRAINAGE PATH.
 - CONCRETE SHALL BE 3,500 PSI (A/E), (SI) DESIGN MIX ACCORDING TO IDOT SSRBC ARTICLE 1020.
 - COMPACT AGGREGATE BASE IN 8" LIFTS (MAX).
 - PAVEMENT SHALL HAVE LIGHT BROOM FINISH SURFACE, PERPENDICULAR TO PATH OF TRAVEL.
 - COLOR SHALL BE STANDARD GRAY.
 - FURNISH AND INSTALL 3/8" PREFORMED BITUMINOUS EXPANSION JOINTS 50' O.C.
 - FURNISH AND INSTALL 3/8" PREFORMED BITUMINOUS EXPANSION JOINTS WHERE PAVEMENT ABUTS RIGID STRUCTURE /ELEMENT.
 - INSTALL CONTROL JOINTS 5' O.C., UNLESS OTHERWISE SHOWN ON PLAN.
 - ADMIXTURES/ADDITIVES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 - SET WELDED WIRE FABRIC 2" FROM EXPOSED PAVEMENT SURFACE.

7 CONCRETE PAVEMENT SECTION
SCALE: N.T.S.



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SITE CONSTRUCTION DETAILS

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BY: APV
CHK: APV
PRJ#: 21036

C-4.0



MSMD020AB CONDENSING UNIT



Note: Pictures are for illustration only, and may not reflect the listed model.



GENERAL

REFRIGERANT	VOLTAGE	COMPRESSOR TYPE	COMPRESSOR MODEL	HP	AWEF	LISTINGS
R-448A/R-449A	208-230/60/1	Scroll	ZS15KAE-PFV	2	5.61	UL/CUL

BTUH CAPACITY (At Saturated Suction Temperature (SST) and 90° Ambient at Condenser)

-30	-20	-10	20	25	30	35	45
-	-	-	15,283	16,884	18,652	20,601	25,097

BTUH CAPACITY (At Saturated Suction Temperature (SST) and 100° Ambient at Condenser)

-30	-20	-10	20	25	30	35	45
-	-	-	14,060	15,533	17,159	18,953	23,089

DIMENSIONAL DATA

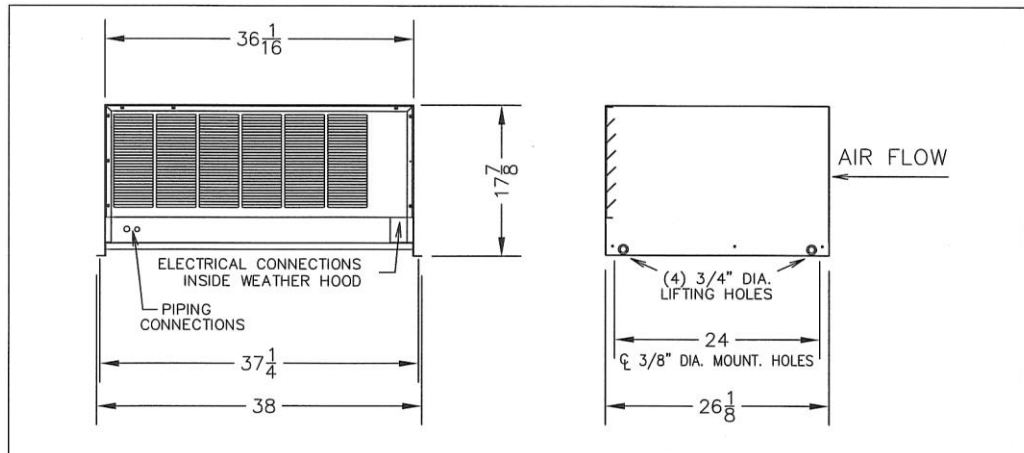
OVERALL (to nearest inch)			WT (lbs)	BASE SIZE	BASE/HOOD
L	W	H			
38	27	18	240	M2	021M

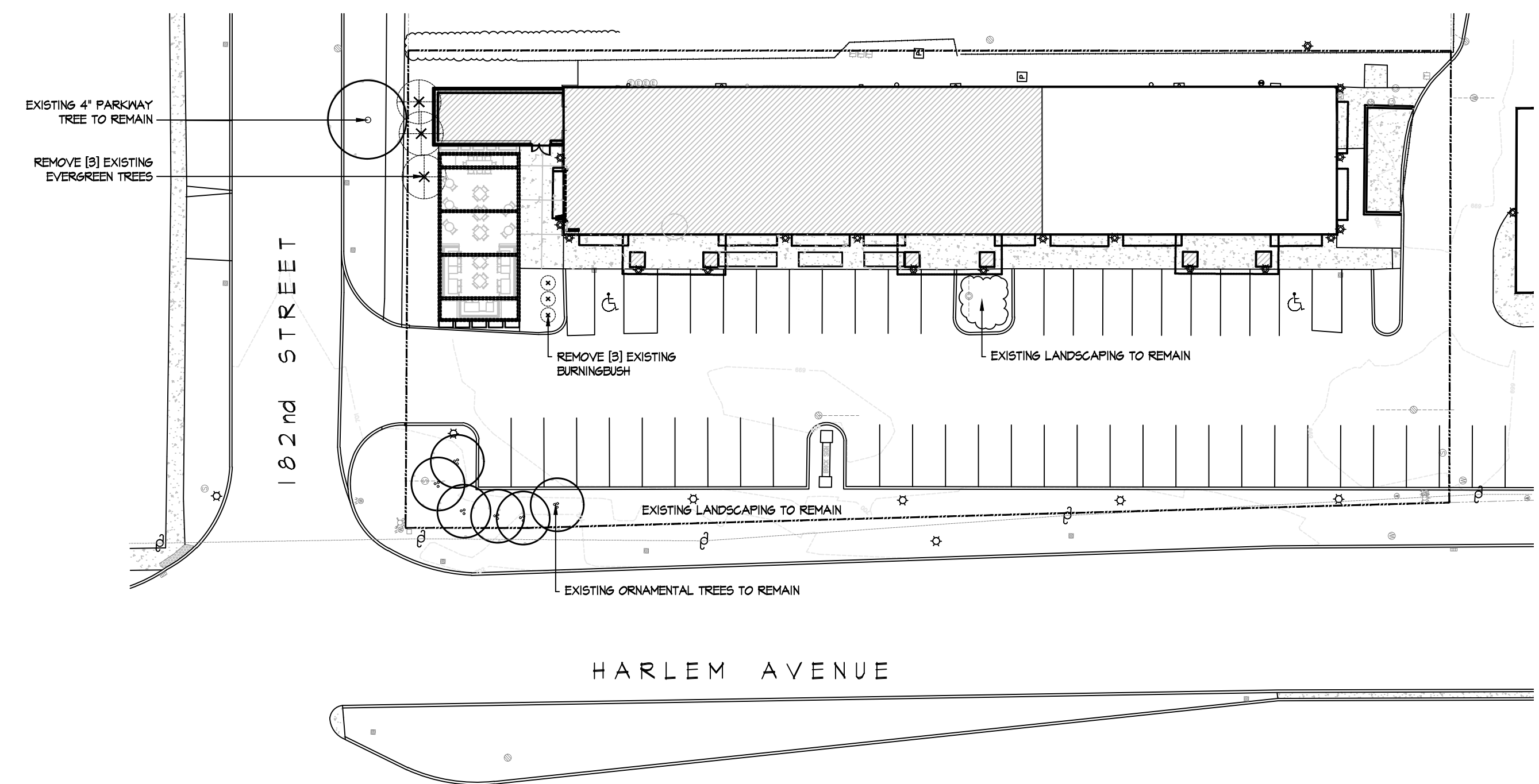
INSTALLATION

REFRIGERANT	RECEIVER TANK (lbs) 90%/90°F	CONNECTIONS		ESTIMATED TOTAL HEAT REJECTION (BTUH)
		LIQUID	SUCTION	
R-448A/R-449A	10.1	1/2	7/8	8

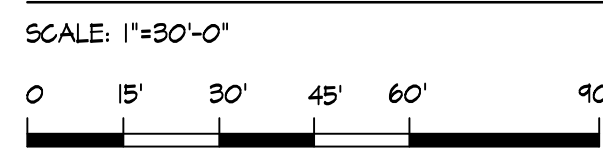
ELECTRICAL

MCA	MOP	COMP VOLTS	COMP PHASE	COMP HZ	COMP RLA	COMP LRA	OTHER LOAD DATA	
31	35	208-230	1	60	14.1	68	VOLTS	208-230
FAN PHASE	FAN HZ	FAN FLA	FAN HP	FAN QUANTITY	MAX EVAP FAN AMPS	MAX EVAP DEF HEATER AMPS	PHASE	1
1	60	0.5	1/20	2	10	25.0	AMPS	0.5





TREE REMOVAL PLAN



NOTE

PLANTERS TO BE TOURNESOL SITEWORKS WILSHIRE COLLECTION; FRP FIBREGLOSS ; COLOR AND FINISH TO BE APPROVED BY OWNER. 800.542.2282 WWW.TOURNESOL.COM
 BACKFILL PLANTERS WITH MIDWEST TRADING COMPANY FMS PLANTER MIX; (630) 365-1990, midwest-trading.com.

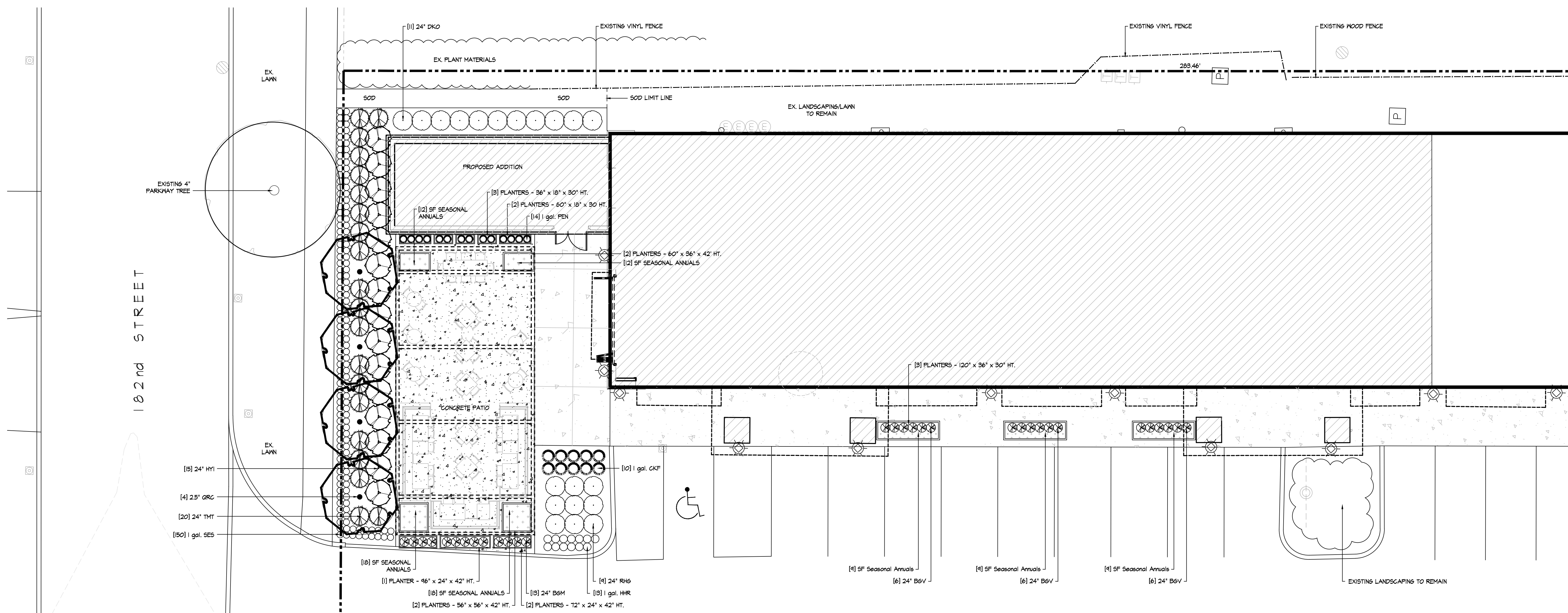
PLANT LIST

SHADE TREES	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	QRC	4	2.5"	Quercus robur x alba 'Grimschmidt'	Crimson Spire Oak	Specimen, symmetrical, Branching to ground

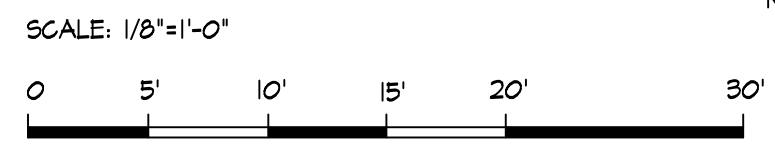
SHRUBS	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	BGM	15	24"	Buxus x 'Green Mountain'	Green Mountain Boxwood	Full branching to ground
	BGV	18	24"	Buxus x 'Green Velvet'	Green Velvet Boxwood	Full branching to ground
	DKO	11	24"	Dianella 'S2X38544'	Kodiak Orange Dianella	Full branching to ground
	HY1	15	24"	Hydrangea arborescens 'Abetna'	Incrediball Hydrangea	Full branching to ground
	RH6	1	24"	Rhus aromatica 'Gron-Low'	Gron-Low Fragrant Sumac	Full branching to ground
	TMT	20	24"	Taxus x media 'Tauntanli'	Tauntan Yew	Full branching to ground

PERENNIALS AND ORNAMENTAL GRASSES	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	CKF	10	1 gal.	Calamagrostis x a. Karl Foerster'	Feather Reed Grass	Container
	HR	13	1 gal.	Hemerocallis 'Happy Returns'	Happy Returns Daylily	Container
	FEN	14	1 gal.	Pennisetum alopecuroides 'Foglet'	Foglet Dwarf Fountain Grass	Container
	SES	150	1 gal.	Sesleria autumnalis	Autumn Moor Grass	Container

SEASONAL ANNUALS	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	87	SF	NA	SEASONAL ANNUALS	Container



ENLARGED LANDSCAPE PLAN



CLIENT NAME:
Name
Address
City

LANDSCAPE ARCHITECTURE
pamelaself
 202 South Cook Street Ste #214
 Barrington, Illinois 60010
 847.438.4922
 www.pamelaself.com

LICENSE # 157.000683
 STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

RJ SEAFOOD
 18021 S. Harlem Avenue
 Tinley Park, Illinois

REVISIONS	No.	Description	Date
	1	VILLAGE COMMENTS	01.13.22
	2	VILLAGE COMMENTS	01.21.22

Design by: KWS/PKS
 Drawn by: KWS
 Checked by: PKS
 Start date: 12.16.2021
 Project no.

LANDSCAPE PLAN

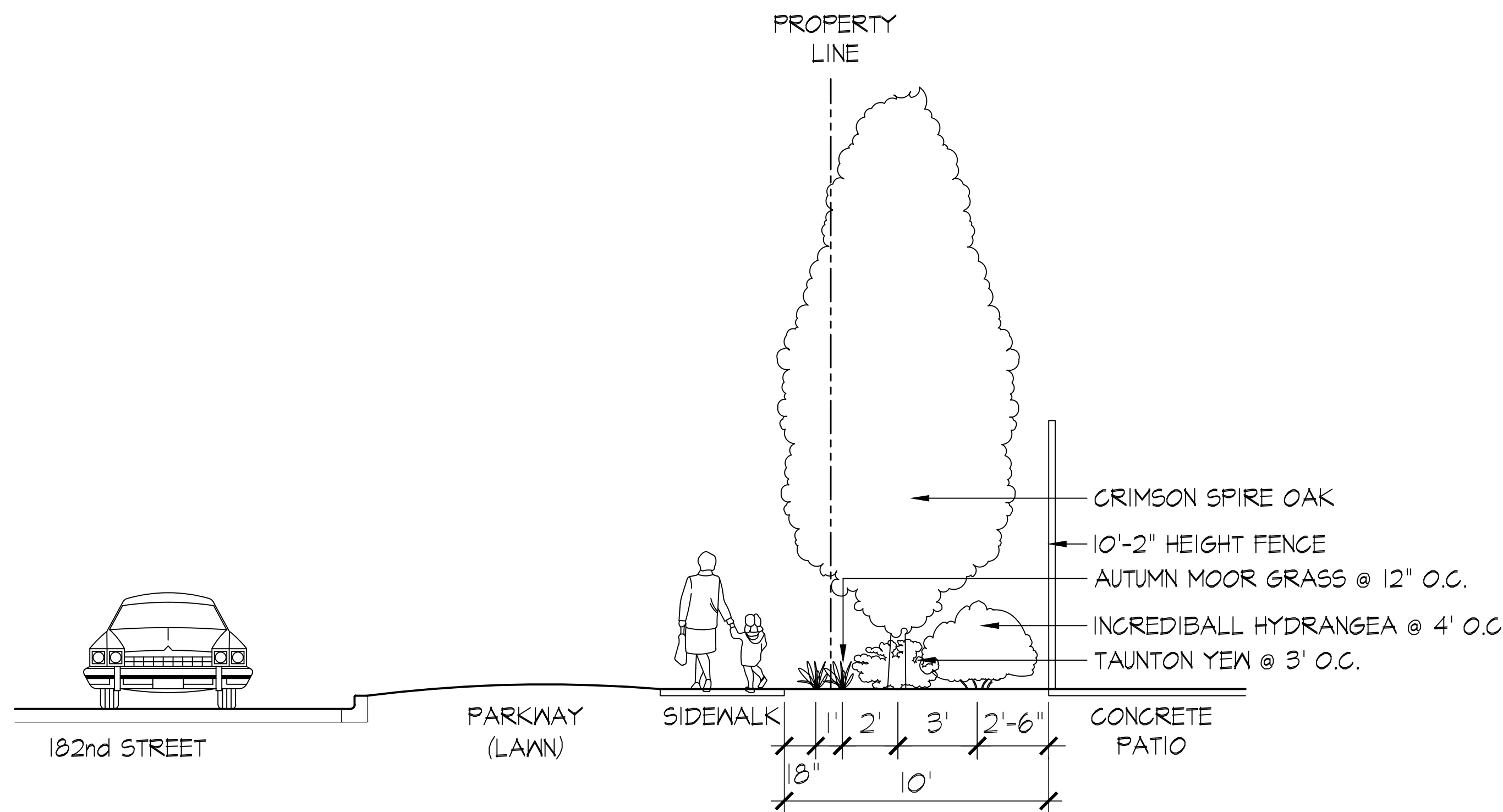
L-1.0

NOT FOR CONSTRUCTION



15' WIDTH x 45' HEIGHT
DECIDUOUS TREE - PROVIDES SCREENING SPRING/SUMMER/FALL
RED FALL COLOR

CRIMSON SPIRE OAK



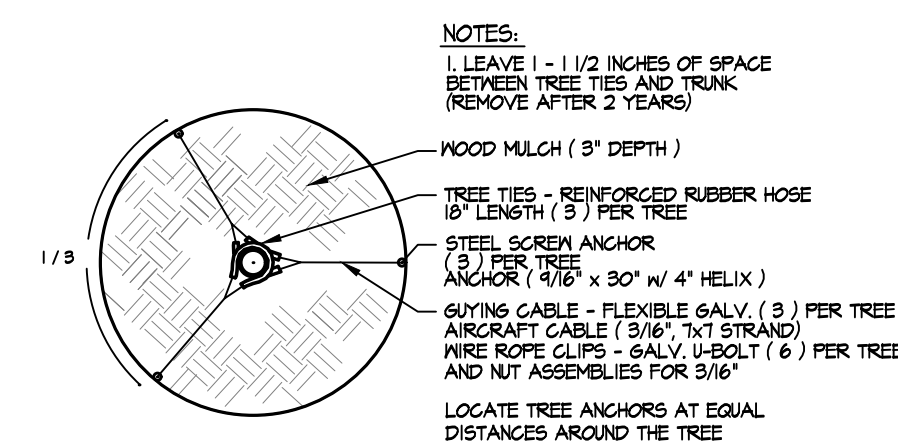
SECTION

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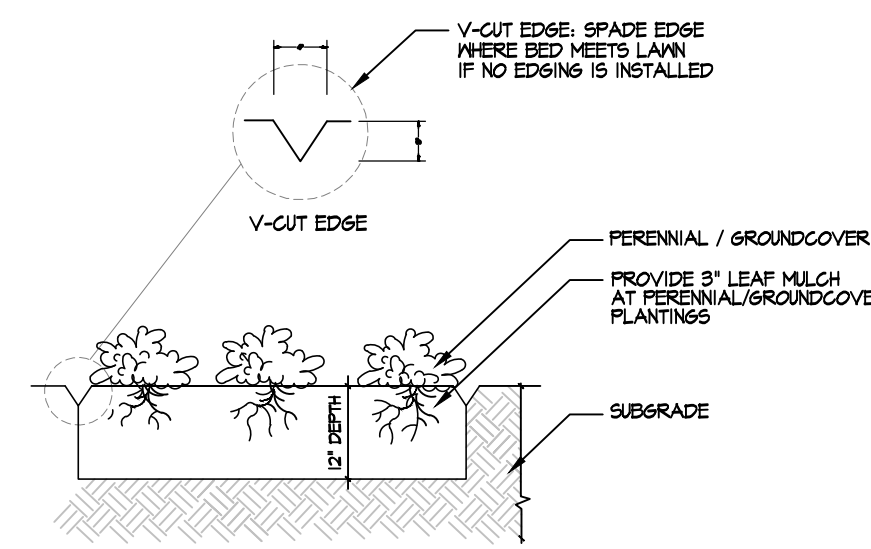


4'-5' WIDTH x 4'-5' HEIGHT
DECIDUOUS SHRUB - PROVIDES SCREENING SPRING/SUMMER/FALL
WHITE BLOOMS - JUNE TO AUGUST

INCREDIBALL HYDRANGEA



GUYING DECIDUOUS TREES



PERENNIAL PLANTING DETAIL



WILSHIRE COLLECTION PLANTERS

NOTE

PLANTERS TO BE TOURNESOL SITEMWORKS WILSHIRE COLLECTION; FRP FIBREGLASS; COLOR AND FINISH TO BE APPROVED BY OWNER. 800.542.2282 WWW.TOURNESOL.COM
BACKFILL PLANTERS WITH MIDWEST TRADING COMPANY PM35 PLANTER MIX; (830) 563-1990, midwest-trading.com.

PLANT LIST

SHADE TREES	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	GR4	4	25"	<i>Quercus robur</i> x <i>alba</i> 'Crimschmidt'	Crimson Spire Oak	Specimen, symmetrical, Branching to ground
SHRUBS	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	BGM	13	24"	<i>Buxus</i> x 'Green Mountain'	Green Mountain Boxwood	Full branching to ground
	BSV	18	24"	<i>Buxus</i> x 'Green Velvet'	Green Velvet Boxwood	Full branching to ground
	DKG	11	24"	<i>Diervilla</i> 'S2248954'	Kodak Orange Diervilla	Full branching to ground
	HY1	15	24"	<i>Hydrangea arborescens</i> 'Abetna'	Incrediball Hydrangea	Full branching to ground
	RH6	4	24"	<i>Rhus aromatica</i> 'Gron-Low'	Gron-Low Fragrant Sumac	Full branching to ground
	TMT	20	24"	<i>Taxus x media</i> 'Tauntonii'	Taunton Yew	Full branching to ground
PERENNIALS AND ORNAMENTAL GRASSES	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	CAF	10	1 gal.	<i>Calamagrostis</i> x <i>a.</i> 'Karl Foerster'	Feather Reed Grass	Container
	HRK	18	1 gal.	<i>Hemerocallis</i> 'Happy Returns'	Happy Returns Daylily	Container
	FEN	14	1 gal.	<i>Pennisetum alopecuroides</i> 'Piglet'	Piglet Dwarf Fountain Grass	Container
	SES	150	1 gal.	<i>Sesleria autumnalis</i>	Autumn Moor Grass	Container
SEASONAL ANNUALS	KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
	BT	5F	NA		SEASONAL ANNUALS	Container

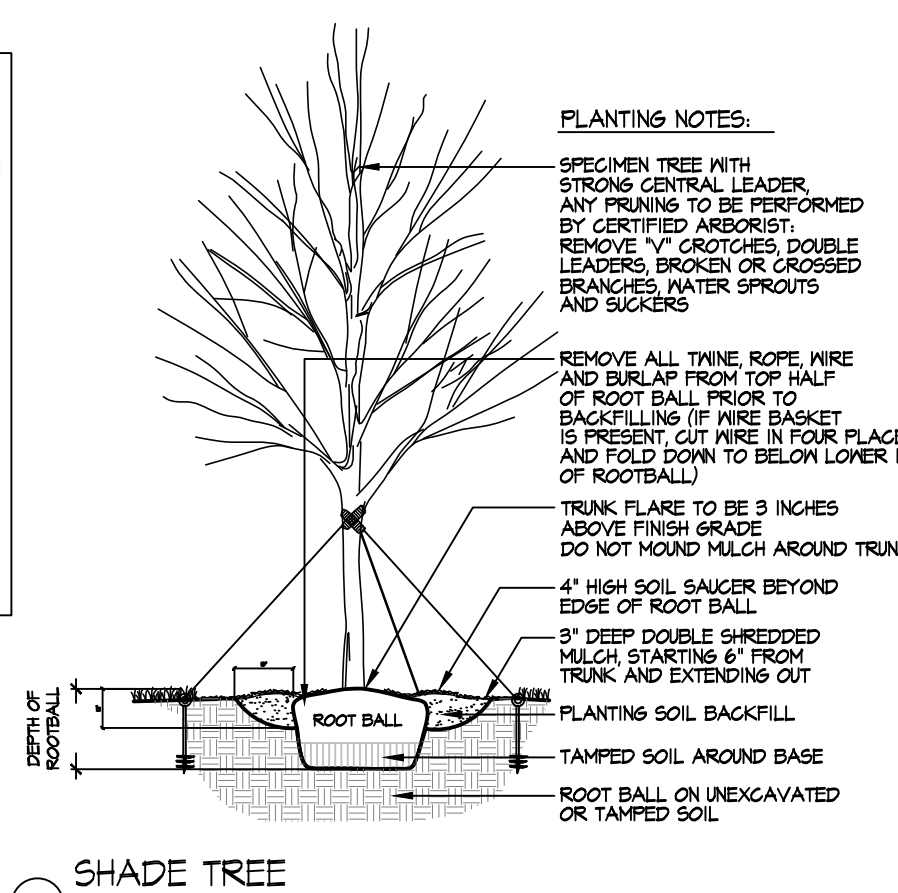


3'-5' WIDTH x 3'-4' HEIGHT
EVERGREEN SHRUB - PROVIDES YEAR ROUND SCREENING

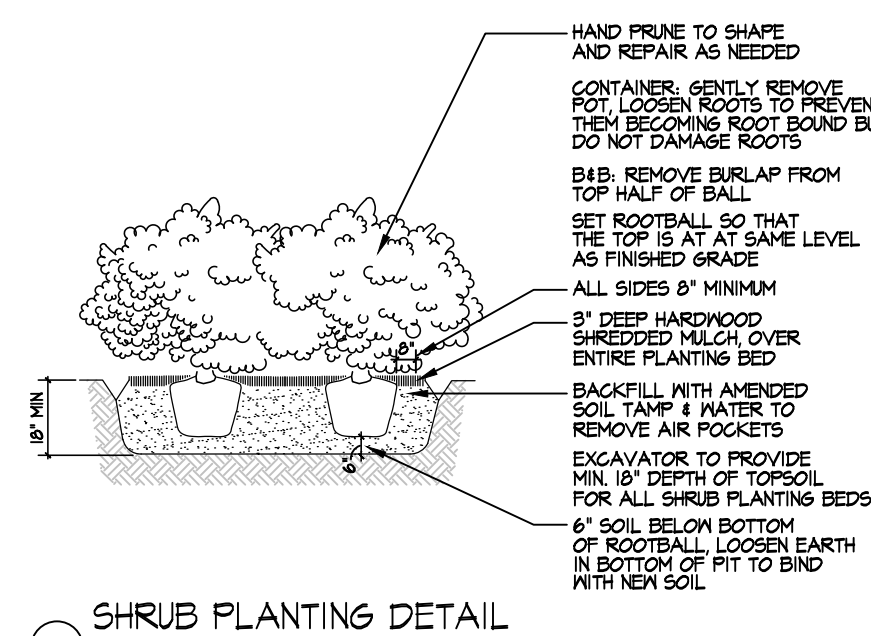
TAUNTON YEW

DECIDUOUS TREE NOTES:

1. PRUNE TREE TO OFFSET ROOT LOSS
2. TREE TRUNK FLARE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE TO PREVIOUSLY EXISTING GRADE.
3. REMOVE BURLAP & ALL WIRES FROM TOP 1/2 OF BALL MINIMUM
4. SOIL CONNECTION: DURING INSTALLATION, TAKE A SMALL AMOUNT OF SOIL FROM TOP AND SIDES OF ROOTBALL AND DISTRIBUTE INTO PLANTING SOIL BACKFILL, AND VICE VERSA
5. APPLY MYCORRHIZAE (DISEASE ROOT REVIVER OR APPROVED EQUAL) TO PLANTING BACKFILL, FOLLOWING MANUFACTURER'S INSTRUCTIONS.
6. ALL TREES 3" CAL. & LARGER TO BE GUYED.
7. DO NOT MULCH AROUND TRUNK.



SHADE TREE



SHRUB PLANTING DETAIL

CLIENT NAME:

Name
Address
City

LANDSCAPE ARCHITECTURE
pamelaself

202 South Cook Street Ste #214
Evanston, Illinois 60010
847.436.4922
www.pamelaself.com

LICENSE # 157.000683
STAMP:

ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

RJ SEAFOOD
18021 S. Harlem Avenue
Tinley Park, Illinois

REVISIONS	No.	Description	Date
	1	VILLAGE COMMENTS	01.13.22
	2	VILLAGE COMMENTS	01.21.22

Design by: KWS/PKS
Drawn by: KWS
Checked by: PKS
Start date: 12.16.2021
Project no.

LANDSCAPE DETAILS

NOT FOR CONSTRUCTION

L-2.0

Wilshire Collection

Materials: **FRP Fiberglass and Lightweight GFRC Concrete**

The Wilshire Collection is nothing fancy - straight walls and a slight reveal. Put several of them together and it creates a highly effective way to configure space using live plants. The elegant straight lines disappear, emphasizing the plant, as it should be. Available in FRP fiberglass and lightweight GFRC concrete, in a huge range of sizes.



- Lightweight FRP fiberglass and GFRC are designed to be durable despite low weight - even for heavy-traffic locations
- Coordinates with our self-watering container irrigation products
- Wilshire collection is also available in Weathering steel and powdercoat steel versions
- Round, square and rectangular sizes from 18" to 120", with customization available
- Matching ash, trash and recyclers available



Wilshire square and round planters can also be ordered with no reveal (toe kick) at the bottom, to coordinate with standard rectangles.

Round Planters without Toe Kick

Part No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WS-1800F	FRP	18" dia	18" dia	20"	15" dia	14.5" dia	19.75"	15	2.5	CWC-1216
WS-2400F	FRP	24" dia	24" dia	24"	21" dia	20.5" dia	23.75"	24	6	CWC-1600/CWM-1114-2k
WS-3000F	FRP	30" dia	30" dia	27"	27" dia	25.5" dia	26.75"	35	11	CWC-2400/CWM-1720-2k
WS-3600F	FRP	36" dia	36" dia	30"	31.5" dia	31.5" dia	29.75"	50	17	CWC-2800/CWM-1720-3k
WS-4200F	FRP	42" dia	42" dia	33"	37.5" dia	37.5" dia	32.75"	65	26	CWC-3300/CWM-1720-3k
WS-4800F	FRP	48" dia	48" dia	36"	43.5" dia	43.5" dia	35.75"	80	35.5	CWM-2920-3k
WS-6000F	FRP	60" dia	60" dia	36"	55.5" dia	55.5" dia	35.75"	105	55.5	CWM-2920-4k
WS-7200F	FRP	72" dia	72" dia	42"	67" dia	67.5" dia	41.75"	145	94.5	CWM-2920-5k
WCS-2400F	GFRC	24" dia	24" dia	24"	21" dia	19.5" dia	23.25"	130	5.5	CWC-1600/CWM-1114-2k
WCS-3000F	GFRC	30" dia	30" dia	27"	27" dia	24.5" dia	26.25"	185	10	CWC-2400/CWM-1720-2k
WCS-3600F	GFRC	36" dia	36" dia	30"	31.5" dia	30.5" dia	29.25"	275	16.5	CWC-2800/CWM-1720-3k
WCS-4200F	GFRC	42" dia	42" dia	33"	37.5" dia	36.5" dia	32.25"	340	25	CWC-3300/CWM-1720-3k
WCS-4800F	GFRC	48" dia	48" dia	36"	43.5" dia	42.5" dia	35.25"	445	32.5	CWM-2920-3k
WCS-6000F	GFRC	60" dia	60" dia	36"	55.5" dia	54.5" dia	35.25"	590	52	CWM-2920-4k
WCS-7200F	GFRC	72" dia	72" dia	42"	67" dia	66.5" dia	41.25"	865	86.5	CWM-2920-4k

Square Planters without Toe Kick

Part No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-1800F	FRP	18" x 18"	18" x 18"	20"	15" x 15"	14.5" x 14.5"	19.75"	19	3.4	CWC-R1300
WR-2400F	FRP	24" x 24"	24" x 24"	24"	21" x 21"	20.5" x 20.5"	23.75"	40	8	CWC-R1850/CWM-R1114-2k
WR-3000F	FRP	30" x 30"	30" x 30"	27"	27" x 27"	25.5" x 25.5"	26.75"	50	14	CWM-R1620-2k
WR-3600F	FRP	36" x 36"	36" x 36"	30"	31" x 31"	31.5" x 31.5"	29.75"	70	22	CWM-R1620-2k
WR-4200F	FRP	42" x 42"	38" x 38"	36"	37" x 37"	43.5" x 43.5"	35.75"	80	37	CWM-1720-4K
WR-4800F	FRP	48" x 48"	48" x 48"	36"	43" x 43"	43.5" x 43.5"	35.75"	110	48	CWM-R2920-2k
WR-4824F	FRP	48" x 48"	48" x 48"	24"	43" x 43"	43.5" x 43.5"	23.75"	80	29	CWM-R2914-2k
WR-6000F	FRP	60" x 60"	60" x 60"	42"	55" x 55"	55.5" x 55.5"	41.75"	135	80	CWM-R2920-4k
WR-7200F	FRP	72" x 72"	72" x 72"	42"	67" x 67"	67.5" x 67.5"	41.75"	165	120	CWM-R2020-4k-E
WCR-2400F	GFRC	24" x 24"	24" x 24"	24"	21" x 21"	19.5" x 19.5"	23.25"	225	7	CWC-R1850/CWM-R1114-2k
WCR-3000F	GFRC	30" x 30"	30" x 30"	27"	26" x 26"	24.5" x 24.5"	26.25"	275	11	CWM-R1620-2k
WCR-3600F	GFRC	36" x 36"	36" x 36"	30"	31" x 31"	30.5" x 30.5"	29.25"	430	21	CWM-R2020-2k
WCR-4800F	GFRC	48" x 48"	48" x 48"	36"	43" x 43"	42.5" x 42.5"	35.25"	700	45	CWM-R2920-2k
WCR-4824F	GFRC	48" x 48"	48" x 48"	24"	43" x 43"	42.5" x 42.5"	23.25"	500	26.5	CWM-R2914-2k
WCR-6000F	GFRC	60" x 60"	60" x 60"	42"	55" x 55"	54.5" x 54.5"	41.25"	1050	51	CWM-R2920-4k
WCR-7200F	GFRC	72" x 72"	72" x 72"	42"	67" x 67"	66.5" x 66.5"	41.25"	1250	112.5	CWM-R2020-4k-E

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Rectangles continued...

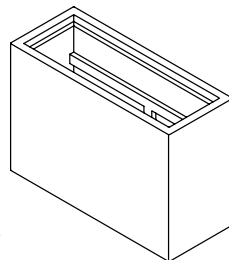
Part No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WCR-362430	GFRC	36" x 24"	36" x 24"	30"	32" x 20"	34.5" x 22.5"	29.25"	300	12.5	CWM-R2920-MS
WCR-482430	GFRC	48" x 24"	48" x 24"	30"	44" x 20"	46.5" x 22.5"	29.25"	365	16.9	CWM-R1620-2k
WCR-602430	GFRC	60" x 24"	60" x 24"	30"	56" x 20"	58.5" x 22.5"	29.25"	445	21.3	CWM-R2020-2k
WCR-722430	GFRC	72" x 24"	72" x 24"	30"	68" x 20"	70.5" x 22.5"	29.25"	520	25.6	CWM-R1620-3k
WCR-962430	GFRC	96" x 24"	96" x 24"	30"	92" x 20"	94.5" x 22.5"	29.25"	700	34.1	CWM-R1620-4k
WCR-1202430	GFRC	120" x 24"	120" x 24"	30"	116" x 20"	118.5" x 22.5"	29.25"	845	42.8	CWM-R2020-4k
WR-362436	FRP	36" x 24"	36" x 24"	36"	33" x 21"	35.5" x 23.5"	35.75"	105	17.4	CWM-R2920-MS
WR-482436	FRP	48" x 24"	48" x 24"	36"	45" x 21"	47.5" x 23.5"	35.75"	135	23.3	CWM-R1620-2k
WR-602436	FRP	60" x 24"	60" x 24"	36"	57" x 21"	59.5" x 23.5"	35.75"	165	29.1	CWM-R2020-2k
WR-722436	FRP	72" x 24"	72" x 24"	36"	69" x 21"	71.5" x 23.5"	35.75"	200	35	CWM-R1620-3k
WR-962436	FRP	96" x 24"	96" x 24"	36"	93" x 21"	95.5" x 23.5"	35.75"	265	46.7	CWM-R1620-4k
WR-1202436	FRP	120" x 24"	120" x 24"	36"	117" x 21"	119.5" x 23.5"	35.75"	330	58.4	CWM-R1620-5k
WCR-362436	GFRC	36" x 24"	36" x 24"	36"	31" x 19"	34.5" x 22.5"	35.25"	375	14.9	CWM-R2020-MS
WCR-482436	GFRC	48" x 24"	48" x 24"	36"	43" x 19"	46.5" x 22.5"	35.25"	460	20.2	CWM-R1620-2k
WCR-602436	GFRC	60" x 24"	60" x 24"	36"	55" x 19"	58.5" x 22.5"	35.25"	565	25.4	CWM-R2020-2k
WCR-722436	GFRC	72" x 24"	72" x 24"	36"	67" x 19"	70.5" x 22.5"	35.25"	660	30.6	CWM-R1620-3k
WCR-962436	GFRC	96" x 24"	96" x 24"	36"	91" x 19"	94.5" x 22.5"	35.25"	885	40.7	CWM-R1620-4k
WCR-1202436	GFRC	120" x 24"	120" x 24"	36"	115" x 19"	118.5" x 22.5"	35.25"	1070	51.1	CWM-R2020-4k
WR-362442	FRP	36" x 24"	36" x 24"	42"	33" x 21"	35.5" x 23.5"	41.75"	120	19.7	CWM-R2920-MS
WR-482442	FRP	48" x 24"	48" x 24"	42"	45" x 21"	47.5" x 23.5"	41.75"	160	26.3	CWM-R1620-2k
WR-602442	FRP	60" x 24"	60" x 24"	42"	57" x 21"	59.5" x 23.5"	41.75"	195	32.9	CWM-R2020-2k
WR-722442	FRP	72" x 24"	72" x 24"	42"	69" x 21"	71.5" x 23.5"	41.75"	235	39.5	CWM-R1620-3k
WR-962442	FRP	96" x 24"	96" x 24"	42"	93" x 21"	95.5" x 23.5"	41.75"	310	52.7	CWM-R1620-4k
WR-1202442	FRP	120" x 24"	120" x 24"	42"	117" x 21"	119.5" x 23.5"	41.75"	385	65.9	CWM-R1620-5k
WCR-362442	GFRC	36" x 24"	36" x 24"	42"	31" x 19"	34.5" x 22.5"	41.25"	425	17.6	CWM-R2020-MS
WCR-482442	GFRC	48" x 24"	48" x 24"	42"	43" x 19"	46.5" x 22.5"	41.25"	515	23.8	CWM-R1620-2k
WCR-602442	GFRC	60" x 24"	60" x 24"	42"	55" x 19"	58.5" x 22.5"	41.25"	630	29.9	CWM-R2020-2k
WCR-722442	GFRC	72" x 24"	72" x 24"	42"	67" x 19"	70.5" x 22.5"	41.25"	735	36.0	CWM-R1620-3k
WCR-962442	GFRC	96" x 24"	96" x 24"	42"	91" x 19"	94.5" x 22.5"	41.25"	965	48.1	CWM-R2020-3k
WCR-1202442	GFRC	120" x 24"	120" x 24"	42"	115" x 19"	118.5" x 22.5"	41.25"	1175	60.3	CWM-R2020-4k
WR-363018	FRP	36" x 30"	36" x 30"	18"	33" x 27"	35.5" x 29.5"	17.75"	40	10.9	CWM-R2914-MS
WR-483018	FRP	48" x 30"	48" x 30"	18"	45" x 27"	47.5" x 29.5"	17.75"	50	14.5	CWM-R1614-2k
WR-603018	FRP	60" x 30"	60" x 30"	18"	57" x 27"	59.5" x 29.5"	17.75"	60	18.2	CWM-R2014-2k
WR-723018	FRP	72" x 30"	72" x 30"	18"	69" x 27"	71.5" x 29.5"	17.75"	70	21.8	CWM-R1614-3k
WR-963018	FRP	96" x 30"	96" x 30"	18"	93" x 27"	95.5" x 29.5"	17.75"	90	27.6	CWM-R1614-4k
WR-1203018	FRP	120" x 30"	120" x 30"	18"	117" x 27"	119.5" x 29.5"	17.75"	105	35.6	CWM-R1614-5k

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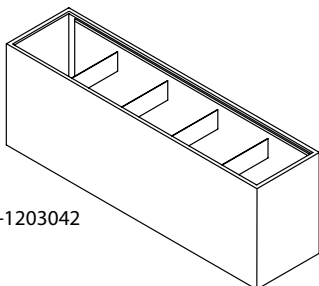
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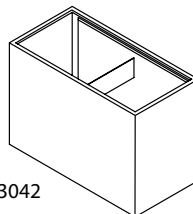
Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-363042	FRP	36" x 30"	36" x 30"	42"	33" x 27"	35.5" x 29.5"	41.75"	130	24.4	CWM-R2920-MS
WR-483042	FRP	48" x 30"	48" x 30"	42"	45" x 27"	47.5" x 29.5"	41.75"	170	32.5	CWM-R1620-2k
WR-603042	FRP	60" x 30"	60" x 30"	42"	57" x 27"	59.5" x 29.5"	41.75"	205	40.7	CWM-R2020-2k
WR-723042	FRP	72" x 30"	72" x 30"	42"	69" x 27"	71.5" x 29.5"	41.75"	245	48.8	CWM-R1620-3k
WR-963042	FRP	96" x 30"	96" x 30"	42"	93" x 27"	95.5" x 29.5"	41.75"	320	65.1	CWM-R1620-4k
WR-1203042	FRP	120" x 30"	120" x 30"	42"	117" x 27"	119.5" x 29.5"	41.75"	400	81.4	CWM-R1620-5k
WCR-363042	GFRC	36" x 30"	36" x 30"	42"	31" x 25"	34.5" x 28.5"	41.25"	475	22.4	CWM-R2920-MS
WCR-483042	GFRC	48" x 30"	48" x 30"	42"	43" x 25"	46.5" x 28.5"	41.25"	570	30.3	CWM-R1620-2k
WCR-603042	GFRC	60" x 30"	60" x 30"	42"	55" x 25"	58.5" x 28.5"	41.25"	690	38.1	CWM-R2020-2k
WCR-723042	GFRC	72" x 30"	72" x 30"	42"	67" x 25"	70.5" x 28.5"	41.25"	795	45.9	CWM-R1620-3k
WCR-963042	GFRC	96" x 30"	96" x 30"	42"	91" x 25"	94.5" x 28.5"	41.25"	1045	61.3	CWM-R1620-4k
WCR-1203042	GFRC	120" x 30"	120" x 30"	42"	115" x 25"	118.5" x 28.5"	41.25"	1255	77.0	CWM-R2020-4k
WR-363618	FRP	36" x 36"	36" x 36"	18"	31" x 31"	35.5" x 35.5"	17.75"	45	12.4	CWM-R1114-2k
WR-483618	FRP	48" x 36"	48" x 36"	18"	43" x 31"	47.5" x 35.5"	17.75"	55	16.6	CWM-R1614-2k
WR-603618	FRP	60" x 36"	60" x 36"	18"	55" x 31"	59.5" x 35.5"	17.75"	65	20.7	CWM-R2014-2k
WR-723618	FRP	72" x 36"	72" x 36"	18"	67" x 31"	71.5" x 35.5"	17.75"	75	24.9	CWM-R1614-3k
WR-963618	FRP	96" x 36"	96" x 36"	18"	91" x 31"	95.5" x 35.5"	17.75"	95	33.2	CWM-R1614-4k
WR-1203618	FRP	120" x 36"	120" x 36"	18"	115" x 31"	119.5" x 35.5"	17.75"	115	41.6	CWM-R1614-5k
WCR-363618	GFRC	36" x 36"	36" x 36"	18"	31" x 31"	34.5" x 34.5"	17.25"	260	11.2	CWM-R1109-2k
WCR-483618	GFRC	48" x 36"	48" x 36"	18"	43" x 31"	46.5" x 34.5"	17.25"	320	15.1	CWM-R1109-2k
WCR-603618	GFRC	60" x 36"	60" x 36"	18"	55" x 31"	58.5" x 34.5"	17.25"	380	19.1	CWM-R1109-3k
WCR-723618	GFRC	72" x 36"	72" x 36"	18"	67" x 31"	70.5" x 34.5"	17.25"	440	23.0	CWM-R1109-4k
WCR-963618	GFRC	96" x 36"	96" x 36"	18"	91" x 31"	94.5" x 34.5"	17.25"	585	30.6	CWM-R1109-5k
WCR-1203618	GFRC	120" x 36"	120" x 36"	18"	115" x 31"	118.5" x 34.5"	17.25"	710	38.5	CWM-R1109-5k

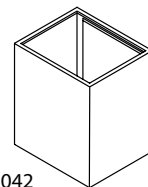
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WR-1203042



WR-603042

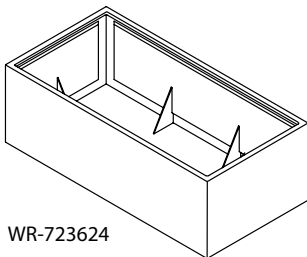


WR-363042

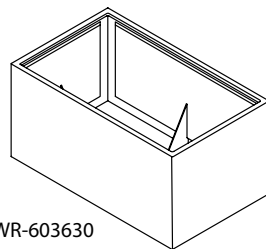


Rectangles continued...

Part. No.	Material	Exterior (top)	(bottom)	(ht)	Interior (top)	(bottom)	(ht)	Weight (lbs.)	Soil Volume (cubic ft.)	Matching Irrigation
WR-363624	FRP	36" x 36"	36" x 36"	24"	31" x 31"	35.5" x 35.5"	23.75"	110	16.2	CWM-R1120-2k
WR-483624	FRP	48" x 36"	48" x 36"	24"	43" x 31"	47.5" x 35.5"	23.75"	135	21.7	CWM-R1620-2k
WR-603624	FRP	60" x 36"	60" x 36"	24"	55" x 31"	59.5" x 35.5"	23.75"	155	27.3	CWM-R2020-2k
WR-723624	FRP	72" x 36"	72" x 36"	24"	67" x 31"	71.5" x 35.5"	23.75"	180	32.8	CWM-R1620-3k
WR-963624	FRP	96" x 36"	96" x 36"	24"	91" x 31"	95.5" x 35.5"	23.75"	225	43.9	CWM-R1620-4k
WR-1203624	FRP	120" x 36"	120" x 36"	24"	115" x 31"	119.5" x 35.5"	23.75"	270	54.9	CWM-R1620-5k
WCR-363624	GFRC	36" x 36"	36" x 36"	24"	31" x 31"	34.5" x 34.5"	23.25"	335	15.1	CWM-R2914-MS
WCR-483624	GFRC	48" x 36"	48" x 36"	24"	43" x 31"	46.5" x 34.5"	23.25"	405	20.5	CWM-R1614-2k
WCR-603624	GFRC	60" x 36"	60" x 36"	24"	55" x 31"	58.5" x 34.5"	23.25"	480	25.8	CWM-R2014-2k
WCR-723624	GFRC	72" x 36"	72" x 36"	24"	67" x 31"	70.5" x 34.5"	23.25"	550	31.1	CWM-R1614-3k
WCR-963624	GFRC	96" x 36"	96" x 36"	24"	91" x 31"	94.5" x 34.5"	23.25"	725	41.6	CWM-R2014-3k
WCR-1203624	GFRC	120" x 36"	120" x 36"	24"	115" x 31"	118.5" x 34.5"	23.25"	880	52.2	CWM-R2014-4K1
WR-363630	FRP	36" x 36"	36" x 36"	30"	31" x 31"	35.5" x 35.5"	29.75"	140	20.4	CWM-R1120-2k
WR-483630	FRP	48" x 36"	48" x 36"	30"	43" x 31"	47.5" x 35.5"	29.75"	170	27.4	CWM-R1620-2k
WR-603630	FRP	60" x 36"	60" x 36"	30"	55" x 31"	59.5" x 35.5"	29.75"	195	34.4	CWM-R2020-2k
WR-723630	FRP	72" x 36"	72" x 36"	30"	67" x 31"	71.5" x 35.5"	29.75"	225	41.3	CWM-R1620-3k
WR-963630	FRP	96" x 36"	96" x 36"	30"	91" x 31"	95.5" x 35.5"	29.75"	280	55.3	CWM-R1620-4k
WR-1203630	FRP	120" x 36"	120" x 36"	30"	115" x 31"	119.5" x 35.5"	29.75"	335	69.2	CWM-R1620-5k
WCR-363630	GFRC	36" x 36"	36" x 36"	30"	31" x 31"	34.5" x 34.5"	29.25"	385	19.3	CWM-R2920-MS
WCR-483630	GFRC	48" x 36"	48" x 36"	30"	43" x 31"	46.5" x 34.5"	29.25"	460	26.1	CWM-R1620-2k
WCR-603630	GFRC	60" x 36"	60" x 36"	30"	55" x 31"	58.5" x 34.5"	29.25"	545	32.8	CWM-R2020-2k
WCR-723630	GFRC	72" x 36"	72" x 36"	30"	67" x 31"	70.5" x 34.5"	29.25"	625	39.5	CWM-R1620-3k
WCR-963630	GFRC	96" x 36"	96" x 36"	30"	91" x 31"	94.5" x 34.5"	29.25"	820	52.9	CWM-R2020-3k
WCR-1203630	GFRC	120" x 36"	120" x 36"	30"	115" x 31"	118.5" x 34.5"	29.25"	990	66.3	CWM-R2020-4k



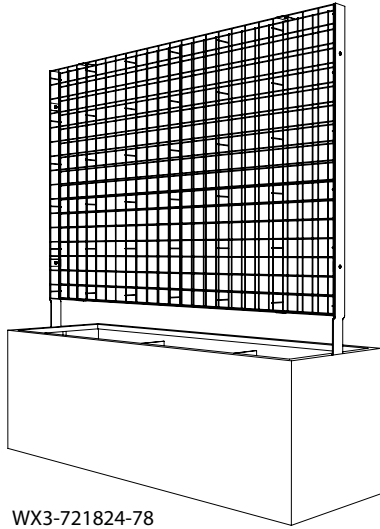
WR-723624



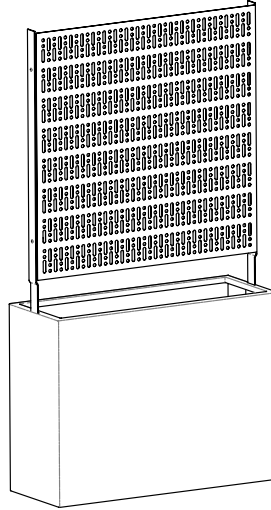
WR-603630

Wilshire Collection - Complementary Planters

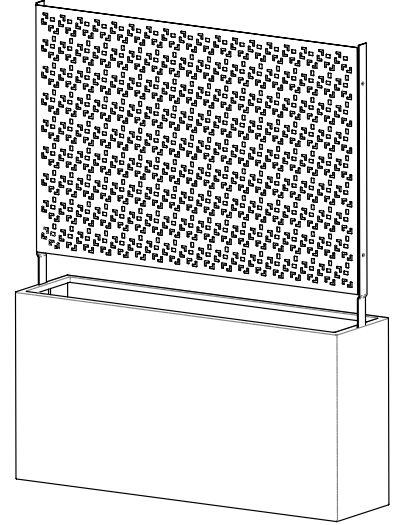
The versatile Wilshire Collection has several complementary products. The **Wilshire Screen** combines a rectangular planter and VertiGreen trellis to create attractive, easy-to-install solutions for screening off unsightly views. Use our laser cut metal panels to create a wind screen or privacy panel. Available in FRP and lightweight GFRC, with a range of sizes, colors, and screen sizes. See the Wilshire Screen detail sheet for more information.



WX3-721824-78



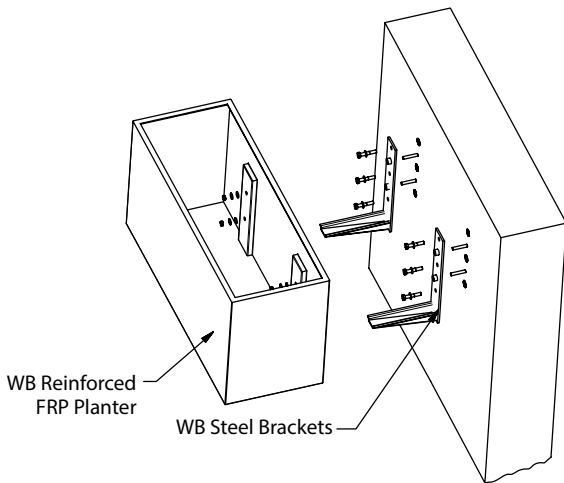
WX-481836-90C
With WXS-4848 Pattern #6



WXP-721836-90C
With WXS 7248 Pattern #7

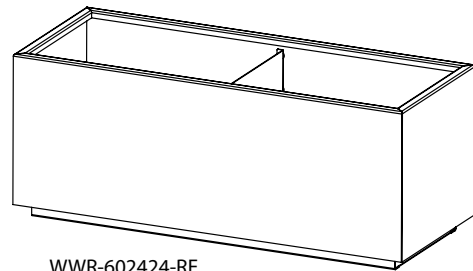
Wilshire Box Hanging Planters

A complete commercial-quality hanging planter system with a lightweight fiberglass box, pre-engineered brackets and easy-to-use mounting template. This hanging planter is available in 3 size ranges up to 120"L. The simple styling works with most building types, and highlights the plants rather than the planter. Can be used with the VertiGreen® 3D trellis or any other plant support. See the Wilshire Box detail sheet for more information.



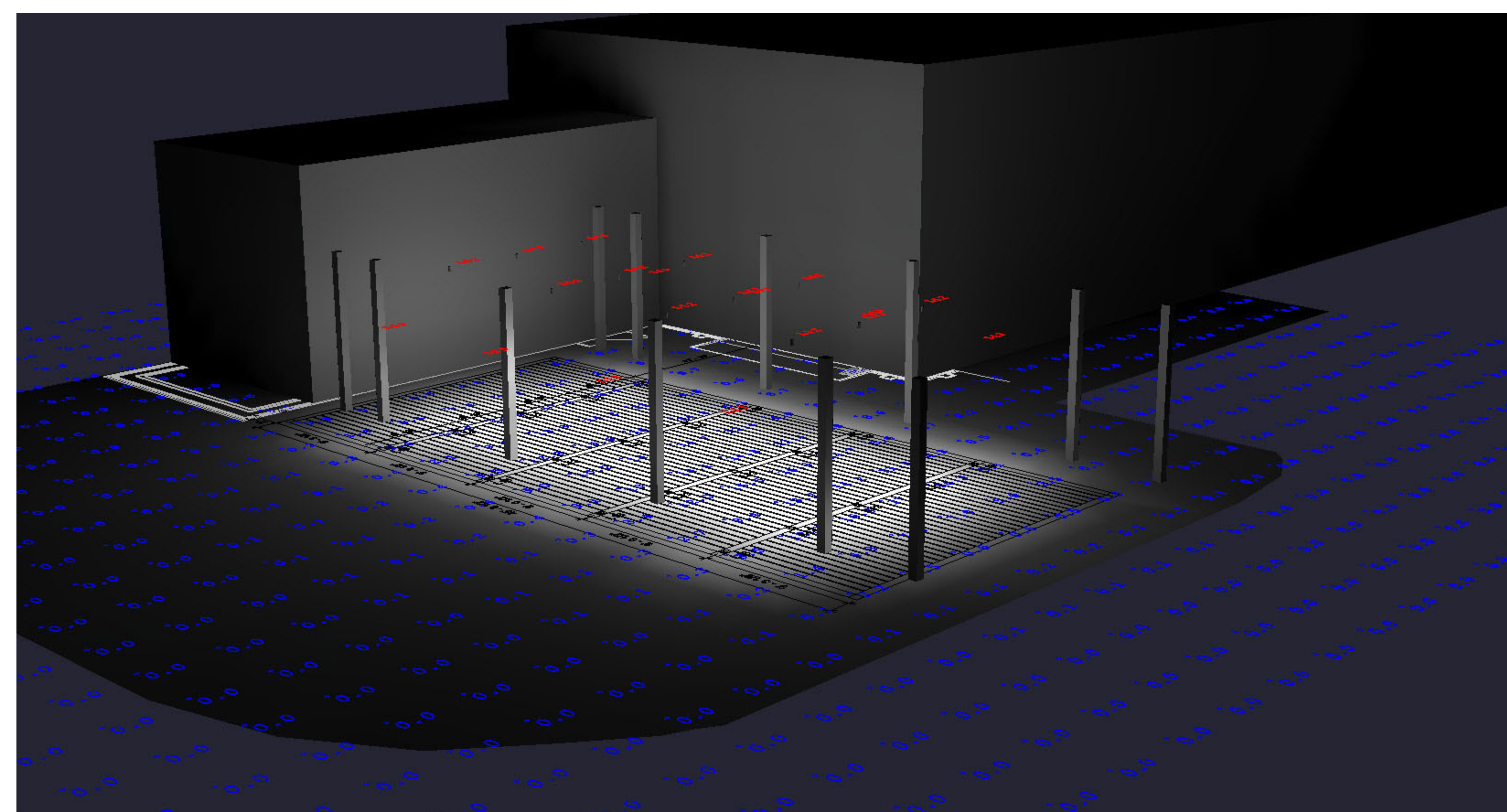
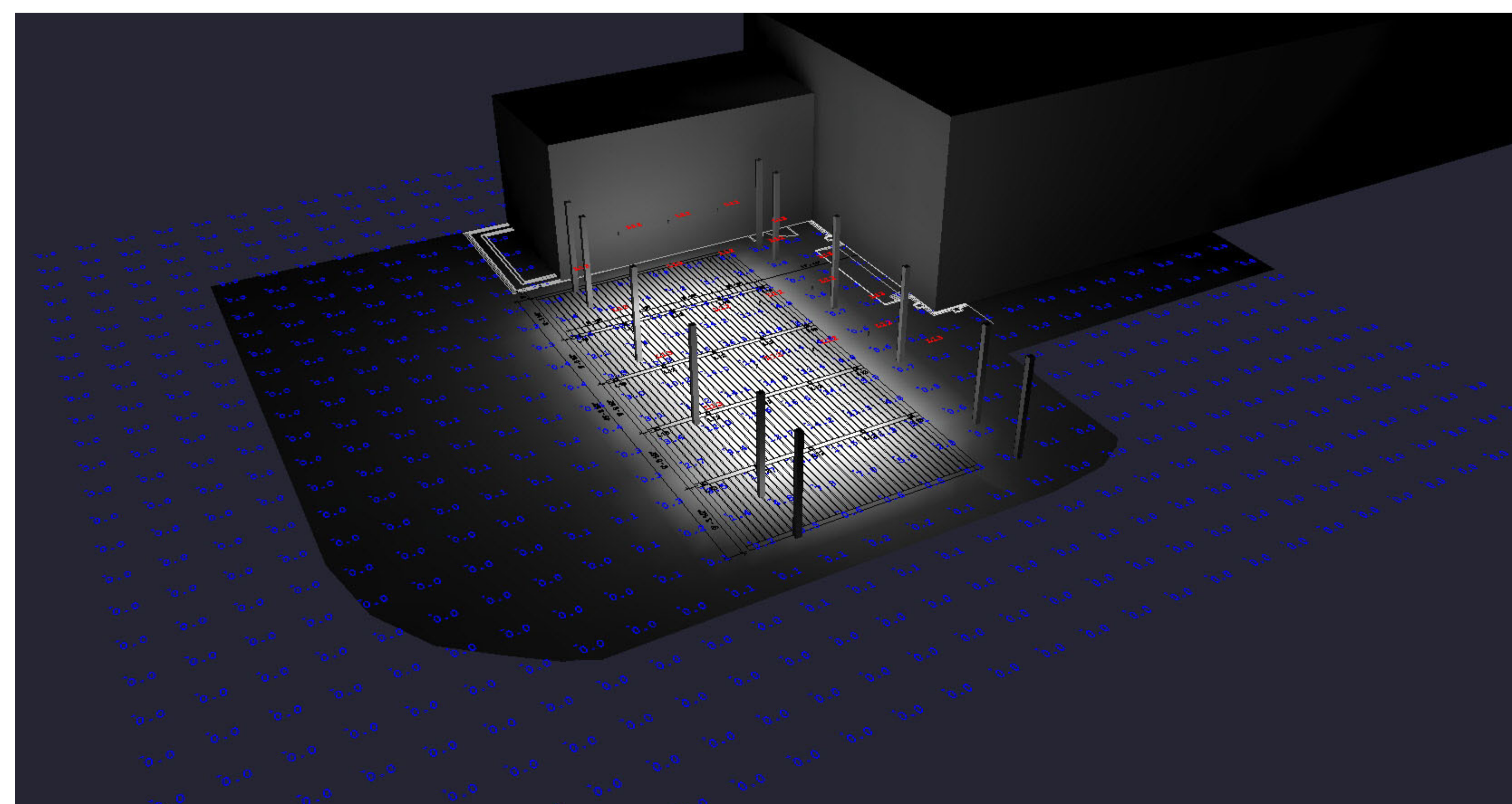
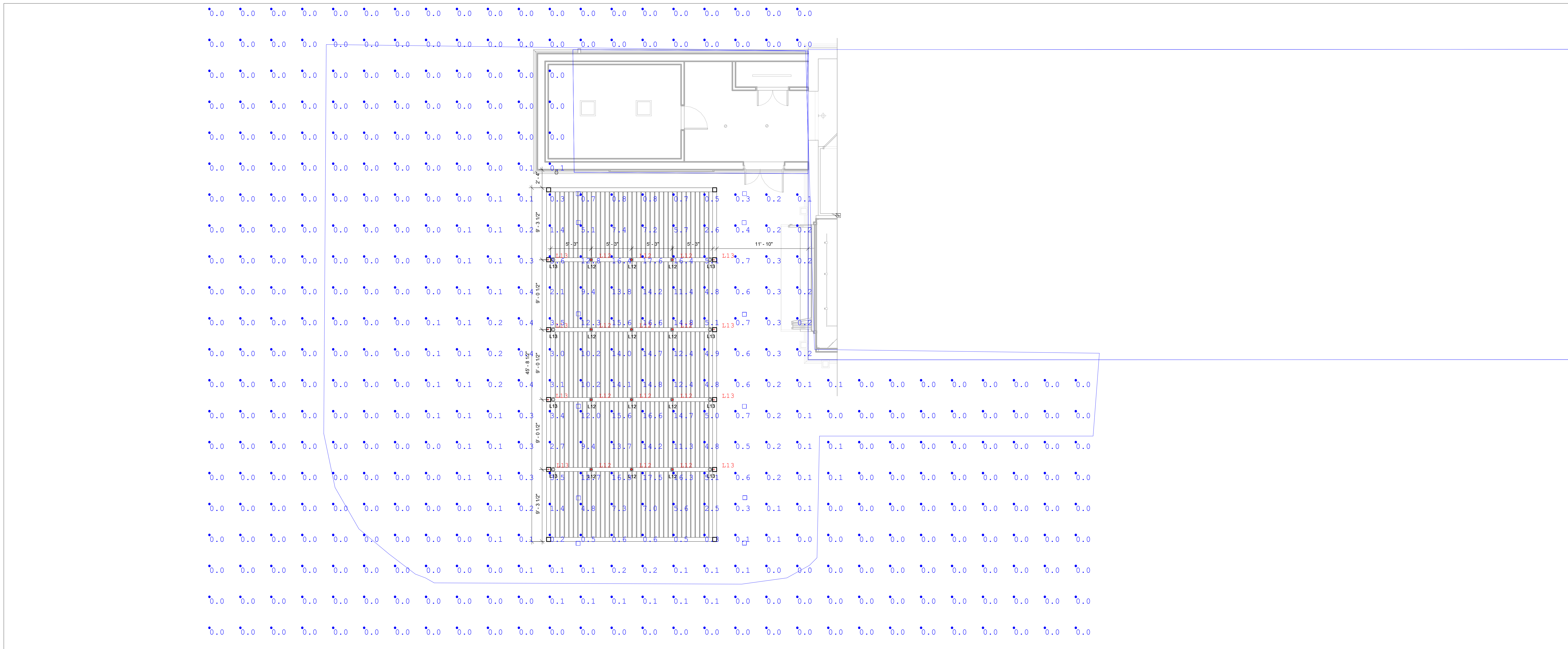
Wilshire Steel Collection

The natural richness of non-corroding weathering steel is now available with the quality, range of standards and custom sizes that you come to rely on from Tournesol Siteworks. See the Wilshire Weathering steel detail sheet for more information. Also available in Powder-coated mild steel.



WWR-602424-RE

Are you finding everything you need? If not, let us know - give us a call at 800-542-2282.



Luminaire Schedule				
Symbol	Qty	LLF	Description	Type
⊕	12	0.950	SQ510-L1L10-R40	L12
➔	8	0.950	700WSBOW4W-LED830	L13

Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	
Site	Illuminance	Fc	1.01	17.6	0.0	N.A.	N.A.	

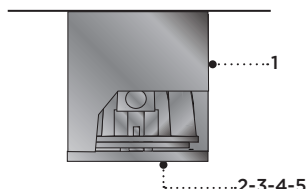
**This document contains confidential and proprietary information of KSA Lighting & Controls. This document may only be used by or for the benefit of KSA Lighting & Controls representatives and customers. This lighting layout is not a professional engineering drawing and is provided for informational purposes only, without warranty as to accuracy, completeness, reliability or otherwise. KSA Lighting & Controls is not responsible for specifying the light fixtures or illumination requirements for any specific project, nor is it responsible for meeting municipal or building code requirements. It is the obligation of the end-user to consult with a professional engineering advisor to determine whether this lighting layout meets the applicable project requirements for lighting system performance, safety, suitability and effectiveness for use in a particular application. Field verification is recommended when calculations are based on end-user or customer-provided information. End-user environment and application (including, but not limited to, voltage variation and dirt accumulation) can cause actual field performance to differ from the calculated photometric performance represented in this lighting layout. In no event will KSA Lighting & Controls be responsible for any loss resulting from any use of this drawing.

- Notes :
1. Calculation Work Plane :Ground Level
 2. Fixture Mounting Height : Tech Sconce (7'6") String Lights (9'6")
 3. Calculation Point Spacing : 4' x 4'

TYPE: _____ QUANTITY: _____ PROJECT: _____

CATALOG NUMBER:

FIXTURE SUFFIX REFLECTOR VOLTAGE FINISH OPTION OPTION OPTION



- 1- Extruded aluminum housing.
- 2- Fully sealed cast aluminum down light assembly.
- 3- Sealed cast aluminum lens frame.
- 4- Clear tempered glass lens.
- 5- Faceted specular aluminum reflector.

All stainless steel hardware.

SQ510



MATERIALS

Syrios Square LED is made of corrosion resistant 356 aluminum alloy with a copper (CU) content of less than 0.1%.

The main housing is made of seamless extruded aluminum, with an integrally sealed LED light module designed for optimal heat dissipation, and lighting performance.

Syrios Square LED SQ510 series is standard with 29° optic. See options section for alternate selection.

ELECTRICAL

DRIVER Standard driver is 0-10V dimming-ready (dims to 10%) with: 120-277 multi-volt compatibility (50-60Hz), operating temperature range of -30°C/-22°F to 55°C/131°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery.

LED Standard 4000K/80CRI. Optional 2700K, 3000K & 3500K. Optional Amber LED for turtle sensitive areas. Wavelengths: 584.5nm to 597nm.

LIFE

>55,000hrs $L_{70}B_{50}$ (based on IESNA TM-21 Test Method and LM-80 data).
Up to 95,000hrs $L_{70}B_{50}$ (calculated projection from LM-80 data).

FINISH

Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

MOUNTING

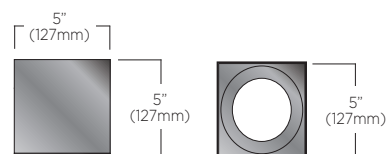
Maximum weight: 2.6 lbs (1.2 kg)

The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3 1/2" (89mm) C/C mounting holes.

Fixture must be installed on a finished ceiling for exterior applications and/or exposed to inclement weather.

CERTIFICATION


Tested to UL1598 and CSA 22.2 #250. ETL listed wet location. Rated IP66.



SQ510 SERIES

SYRIOS SQUARE - LED

LUMINAIRE SELECTION

1 MODEL#  <input type="checkbox"/> SQ510	2 LED LIGHT SELECTION <table border="1"> <thead> <tr> <th>SUFFIX</th> <th>INPUT WATTS</th> <th>DELIVERED LUMENS</th> <th>CRI</th> <th>CCT °K</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> L1L10</td> <td>13W</td> <td>924</td> <td>80</td> <td>4000</td> </tr> <tr> <td colspan="5">AMBER LED IDA - Dark Sky Approved</td> </tr> <tr> <td><input type="checkbox"/> L1L1K2A</td> <td>7W</td> <td>124</td> <td>AMBER</td> <td></td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th colspan="5">VERY NARROW DISTRIBUTION</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> L1L5NR</td> <td>10W</td> <td>539</td> <td>80</td> <td>4000</td> </tr> </tbody> </table>	SUFFIX	INPUT WATTS	DELIVERED LUMENS	CRI	CCT °K	<input type="checkbox"/> L1L10	13W	924	80	4000	AMBER LED IDA - Dark Sky Approved					<input type="checkbox"/> L1L1K2A	7W	124	AMBER		VERY NARROW DISTRIBUTION					<input type="checkbox"/> L1L5NR	10W	539	80	4000	3 REFLECTORS* <input type="checkbox"/> R30 Flood optics 29° (standard) <input type="checkbox"/> R40 Wide flood optics 42° <input type="checkbox"/> R9 Very narrow optics 9° (12,018 candela)	4 VOLTAGE <input type="checkbox"/> 120V <input type="checkbox"/> 277V	5 FINISH STANDARD COLORS* <input type="checkbox"/> WHT Snow white <input type="checkbox"/> BKT Jet black <input type="checkbox"/> BZT Bronze <input type="checkbox"/> MST Matte silver <input type="checkbox"/> GRT Titanium gray <input type="checkbox"/> DGT Gun metal <input type="checkbox"/> CHT Champagne <input type="checkbox"/> SGT Steel gray <input type="checkbox"/> BGT English cream OPTIONAL COLORS <input type="checkbox"/> CS Custom color <input type="checkbox"/> RAL RAL# color NATATORIUM SUITED COLORS <input type="checkbox"/> NWHT White <input type="checkbox"/> NBKT Black <small>*Refer to color chart</small>
SUFFIX	INPUT WATTS	DELIVERED LUMENS	CRI	CCT °K																														
<input type="checkbox"/> L1L10	13W	924	80	4000																														
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<input type="checkbox"/> L1L1K2A	7W	124	AMBER																															
VERY NARROW DISTRIBUTION																																		
<input type="checkbox"/> L1L5NR	10W	539	80	4000																														

OPTIONS

ELECTRICAL

- FS** Fuse
- REML2-50** 7W remote emergency battery backup for LED, 90 min. Remote mount 50ft - 12" (305mm) square enclosure with access cover¹

FAUX WOOD COLORS³

- | | |
|--|--|
| <input type="checkbox"/> ADG American douglas | <input type="checkbox"/> MPL Maple |
| <input type="checkbox"/> BRC Birch | <input type="checkbox"/> OFL Oak |
| <input type="checkbox"/> CHN Chestnut | <input type="checkbox"/> RSW Rosewood |
| <input type="checkbox"/> CRY Cherry | <input type="checkbox"/> TEK Teak |
| <input type="checkbox"/> KNP Knotty pine | <input type="checkbox"/> WLN Walnut |

LIGHT & OPTICS

Alternate CCT °K LED (LCF: Lumen conversion factor)

- K27** 2700K CCT 80 CRI (LCF: 0.91)²
- K3** 3000K CCT 80 CRI (LCF: 0.94)
- K35** 3500K CCT 80 CRI (LCF: 0.983)²

NOTE: Other CCT & higher CRI available, please consult factory.

ACCESSORIES

- SL** Solite lens (light loss factor [LLF]: 0.9)
- LSL** Linear spread lens

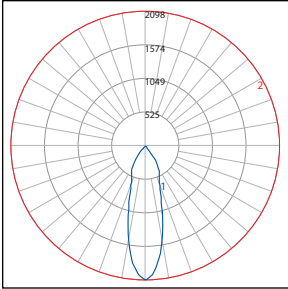
NOTES

- 1- The remote enclosure must be interior.
- 2- K27 and K35 options not available with the R9 optics.
- 3- Faux wood finish not applied to lens frame.

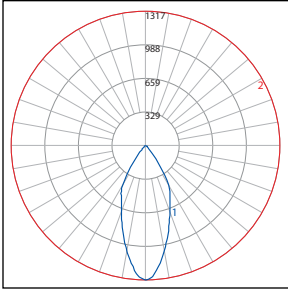


SQ510 SERIES SYRIOS SQUARE - LED

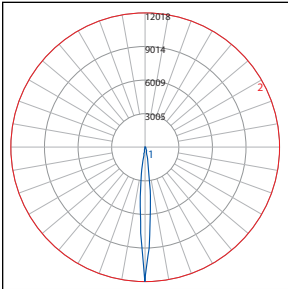
TYPICAL PHOTOMETRY SUMMARY



Descriptive Information
 SQ510-L1L10-R30
 Total Lms: 924 Lumens
 Total Input Watts: 13 W
 Efficacy: 74 Lumens/Watt
 BUG: B1-U0-G0
 CCT/CRI: 4000K/80
 Maximum Candela: 2098 @ 0 deg



Descriptive Information
 SQ510-L1L10-R40
 Total Lms: 846 Lumens
 Total Input Watts: 13 W
 Efficacy: 68 Lumens/Watt
 BUG: B1-U0-G0
 CCT/CRI: 4000K/80
 Maximum Candela: 1317 @ 0 deg



Descriptive Information
 SQ510-L1L5NR-R9
 Total Lms: 539 Lumens
 Total Input Watts: 10 W
 Efficacy: 53 Lumens/Watt
 BUG: B1-U0-G0
 CCT/CRI: 4000K/80
 Maximum Candela: 12018 @ 0 deg

Please visit our web site www.luminis.com for complete I.E.S. formatted download data.



The classic silhouette of this sleek LED wall sconce makes it suitable for both indoor and outdoor applications. The Bowman's die-cast aluminum body houses a powerful, long-lasting LED light source tightly controlled for down light only, yet supplying significant illumination for even the darkest nights. Available in two sizes and five finishes.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

DELIVERED LUMENS	696.6
WATTS	17.8
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight
CCT	2700K**, 3000K
CRI	80+
COLOR BINNING	3 Step
BUG RATING	B1-U0-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	1.7 lbs.

* Visit techlighting.com for specific warranty limitations and details.
 ** Available in Black and Bronze finish only.



BOWMAN 4 shown in black



BOWMAN 4 shown in bronze



BOWMAN 4 shown in charcoal



BOWMAN 4 shown in silver



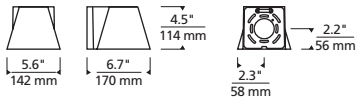
BOWMAN 4 shown in white

ORDERING INFORMATION

PRODUCT	LENGTH	FINISH	LAMP
700WSBOW	4 4"	B BLACK	-LED827 LED 80 CRI, 2700K 120V*
		Z BRONZE	-LED827277 LED 80 CRI, 2700K 277V*
		H CHARCOAL	-LED830 LED 80 CRI, 3000K 120V
		I SILVER	-LED830277 LED 80 CRI, 3000K 277V
		W WHITE	

*AVAILABLE IN BLACK AND BRONZE FINISH ONLY

BOWMAN 4 WALL SCONCE



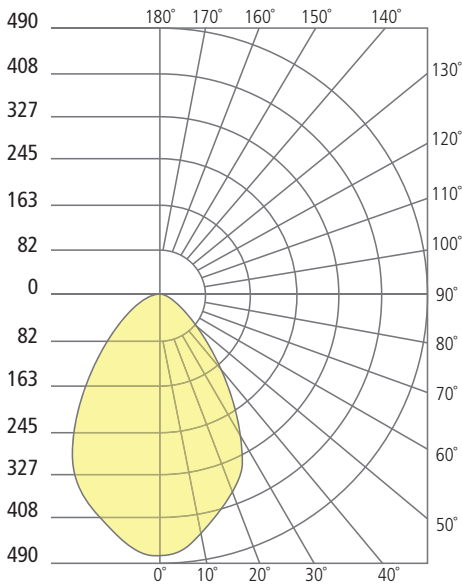
Bowman 4

PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

BOWMAN 4

Total Lumen Output: 696.6
 Total Power: 17.8
 Luminaire Efficacy: 39.1
 Color Temp: 3000K
 CRI: 80+
 BUG Rating: B1-U0-G0



PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



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EDWARDS

REALTY COMPANY

14400 South John Humphrey Drive
Suite 200
Orland Park, IL 60462
Ph 708-923-6312
Fax 708-923-7301

January 24, 2022

To Whom It May Concern:

Please let this letter serve as notice of our intent to rectify the current code violation regarding the placement of the tenant dumpsters at Cornerstone Centre in Tinley Park. Until this code issue was recently brought to our attention by RJ's Seafood and the Village of Tinley Park, we were unaware that the tenant's dumpster locations were in violation. The property has been operating in this manner for almost two decades and the dumpsters in these locations long predate our ownership and management of Cornerstone Centre. We intend to rectify the issue as soon as possible and I believe we have found a solution that will ensure code compliance permanently.

It has proven difficult to monitor individual tenant trash services and placement of their receptacles. Every tenant currently has their own dumpsters with their own agreements in place. There are multiple different service providers at the property and not enough room inside the enclosures for them all. With the oversight of a single waste hauling company to monitor the onsite waste removal operations, we could ensure tenants are sharing dumpsters and the reduced number of overall receptacles would ensure that everything fits within the two remaining enclosures. Service frequency would increase as needed.

We have chosen Homewood Disposal Services as our unified trash hauler at the property. They understand the needs of every tenant in the shopping center. They have provided shared dumpsters with labels for each tenant so there is no confusion as to where a tenant is to place their trash or recycling. The increased volume from RJ's Seafood is being accounted for by an increase in service days at the property. Homewood Disposal has even left room for RJ's grease container in their enclosure. Property management is confident that this solution can be implemented within the next 2 weeks and ensure future code compliance indefinitely.

Best Regards,



Derek Hassan
Edwards Realty Company

Cornerstone Centre: 183rd & Harlem



New Services	Trash: 1 - 8yd - 3x wk (24 yds / week)
East Corral:	Recycle: 1 - 3yd - 3x wk (9 yds / wk)

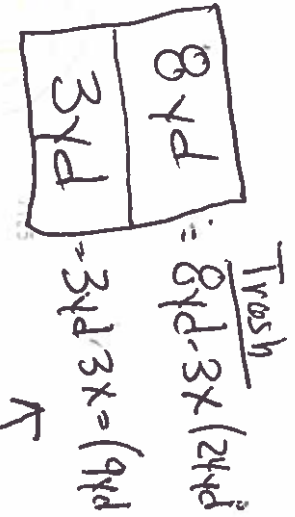
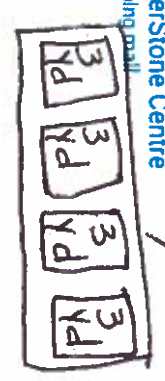
Tenant:	Weekly sevice	
	Trash	Recycle
Al's Beef	8 yds	4 yds
SportsClip	1 yd	
Izakaya	4 yds	
350 Brewing	4 yds	2 yds
Femme Beauty	1 yd	
UPS Store	2 yds	2 yds

New Services:	Trash: 3 - 3yd - 3x wk (27 yds / week)
West Corral:	Recycle: 1 - 3yd - 3x wk (9 yds / wk)

Tenant:	Weekly sevice	
	Trash	Recycle
Stacks	8 yds	4 yds
Physical Therapy	1/2 yd	
AT & T	2 yds	
RJ's Seafood Co	14 yds	4 yds

** all containers inside corrals (East / West Corral)

T: 3 · 3yd - 5x wk (27 yards)
 R: 1 · 3yd - 3x wk (9 yards)



CornerStone Centre
 Shopping mall

Stacks Breakfast,
 Brunch & Lunch Tinley
 Delivery by Caviar

Shred Nations

Mr. Riko Loko
 Ice Cream

350 Brewing Company
 Free Delivery
 on 1st Order

Runa Izakaya
 Sush · \$5

Al's #1 Italian Beef
 Sandwich · \$

Sport Clips Haircuts
 of Tinley Park

Cornerstone Centre

PLAN COMMISSION STAFF REPORT

February 17, 2022

Official Zoning Map Approval – 2021

Village of Tinley Park

Applicant

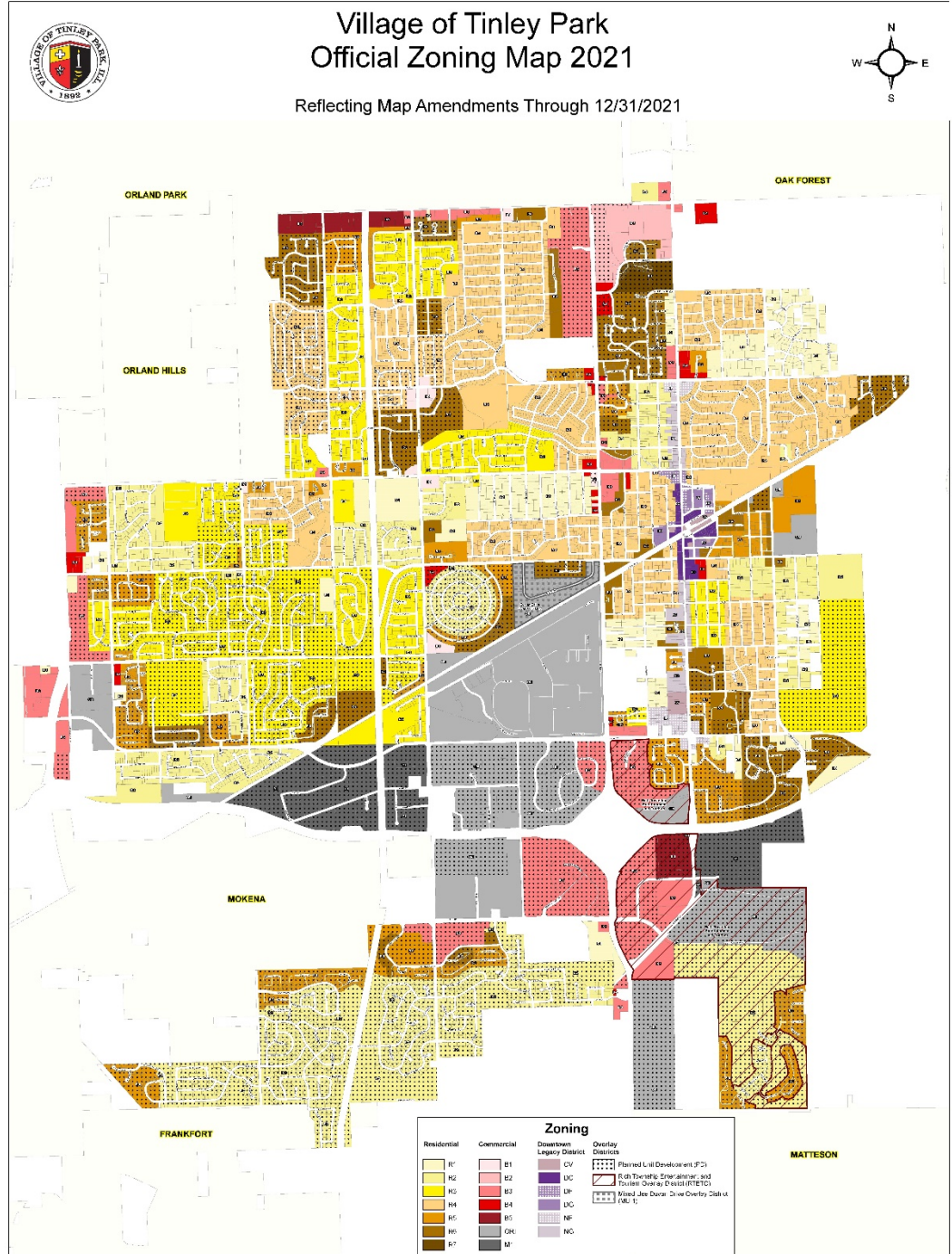
Village of Tinley Park

Approvals Sought

Official Zoning Map
Recommendation to the
Village Board

Project Planner

Lori Kosmatka
Associate Planner



EXECUTIVE SUMMARY

Staff has worked with the Village's GIS Consultant, MGP, Inc., to review the Village's Zoning Map and identify all updates and corrections through December 31, 2021. Per the Illinois Municipal Code, municipalities must adopt an Official Zoning Map by March 31st of each year.

Village Board approval is scheduled for March 1, 2022 to review and approve the 2021 Official Zoning Map. The Plan Commission provides a recommendation to the Village Board as to whether or not to approve the draft Zoning Map as proposed by Staff.

Staff notes that **no properties are being rezoned as part of the adoption of the official Zoning Map**. All zoning changes included a Public Hearing at the time of their approval and the request is simply ensuring the map correctly reflects any of the previous year's changes. The corrections made to the map reflect either map amendments (rezonings), annexations, and subdivisions approved in 2021, or corrections that were previously approved, but not accurately documented.

BACKGROUND

The Illinois Municipal Code (65 ILCS 5/11-13-19) requires certain municipal authorities to annually publish an Official Zoning Map by March 31st each year. While not required for incorporated municipalities, it is still considered good practice to do so annually.

*(65 ILCS 5/11-13-19) (from Ch. 24, par. 11-13-19) Sec. 11-13-19. Except as otherwise provided in this section, **the corporate authorities shall cause to be published no later than March 31 of each year a map clearly showing the existing zoning uses, divisions, restrictions, regulations and classifications of such municipality for the preceding calendar year. The map published by the corporate authorities shall be the official zoning map.***

The Village's GIS Consultant maintains the on-line map and update's it with any changes throughout the year; however, an official map must still be approved each year. Staff has reviewed the current Zoning Map, made corrections based on map amendments through December 31, 2021, and provided a proposed draft of the Official Zoning Map for the Plan Commission's review.

CHANGES TO THE ZONING MAP

Two annexations took place in 2021 (including rezoning and subdivision):

- Sunset Estates Subdivision (Panos) - 6864 & 6900 179th Street (PINs 28311050150000, 28311050750000 and 28311050180000) was annexed and rezoned to R-6, Medium Density Residential per Ordinances 2021-O-023 (Annexation) and 2021-O-024 (Rezoning) and received a Final Plat of Subdivision.
- Scannell - Property at 19501-19701 Harlem Avenue (PINs 31071030010000 and 31073000010000) was annexed and rezoned to ORI Office & Restricted Industrial with a PUD per Ordinances 2021-O-034 (Annexation) and 2021-O-035 (Rezoning) and received a Final Plat of Subdivision creating three new lots.

Three rezonings took place in 2021:

- DR Horton – Southeast of Ridgeland & Oak Forest Avenue (PINs 28293000360000, 28293000300000, and 28293000410000) was rezoned to the R-5 Low Density Residential PUD per Ordinance 2022-R-002.
- Vequity Development Starbucks - 17120-17126 Harlem Avenue (PINs 27254030150000 and 27254030160000) was rezoned to the B-1 Neighborhood Shopping with a PUD per Ordinance 2021-O-030 (Rezoning) and received a Final Plat Approval to consolidate two lots into one lot.

- Brookside Glen Villas (Crana Homes) development - 8001 191st Street (PIN 1909112000140000) was rezoned and received a Final Plat of Subdivision dividing it into two lots:
 - New "Lot 1" (larger southern parcel) to the R-5 Low Density Residential per Ordinance 2021-O-075 (Rezoning).
 - New "Lot 2" (smaller northern parcel) remains zoned as B-3.
- Loyola Medicine Clinic development - 17901 LaGrange Road
 - PIN 27-34-300-005-0000 (smaller northern parcel) was rezoned to the ORI Office & Restricted Industrial per Ordinance 2021-O-077 (Rezoning).
 - PIN 27-34-300-011-0000 larger "L" shaped southern parcel) remains zoned as ORI Office & Restricted Industrial.

Four plats of subdivisions took place in 2021 (no other rezoning or annexation took place):

- Lenny's Gas N Wash - 7451 183rd Street & 18421 West Creek Drive (PINs 1909012010150000, 1909012010160000 and 1909012010250000) received a Plat of Subdivision consolidating the three lots into one.
- MedPro Health Providers, LLC - 16820 Oak Park Avenue (PINs 28-30-107-026-0000 and 28-30-107-017-0000) received a Final Plat Approval consolidating the two parcels into one.
- Pete's Fresh Market - One property at 16300 Harlem Avenue (PIN 27-24-202-020-0000) received a Plat of Subdivision.
- Ludke - One property at 6303 175th Street (PIN 28-32-100-006-0000) received a Plat of Subdivision that split the property into two lots.

Staff also identified various corrections to the Official Zoning Map, including:

- Loyola Medicine Clinic development - 17901 La Grange Road - One of the two parcels associated with the Loyola is now missing from the GIS map. PIN was 27-34-300-011-0000 (per the 2021 staff report).
- Vequity Development 7/11 - 17100 Harlem Avenue (PINs 27254030130000, 27254030140000 should be one lot and addressed as 17100 Harlem. This was previously approved in 2020 and appears to have reverted back to two parcels. The parcel overlay line splitting this property should be removed. This property should also be zoned B-1 PUD.
- Edenbridge Apartments - 18100-18101 66th Ct. (PIN 28314010080000) should not be a PUD.
- Map legend should read "Overlay Districts", not "Downtown Legacy District"
- Two unincorporated parcel lines southwest of 179th and Oak Park Avenue should be removed from the map.

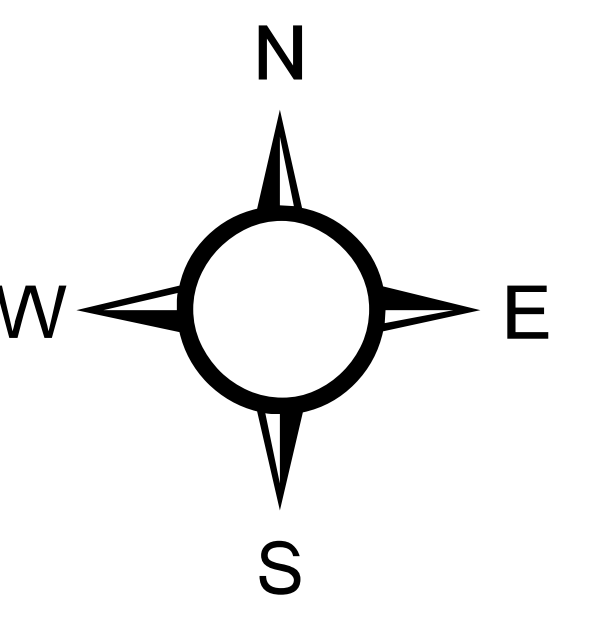
The Village's GIS Consultant, MGP, Inc., has provided an updated map that reflects the corrections and annexation as noted by Staff. The updated map has been included in the Plan Commission packet in draft form.

RECOMMENDATION

Following a successful review, proceed to Village Board on March 1, 2022.



Village of Tinley Park Official Zoning Map 2021



Reflecting Map Amendments Through 12/31/2021

ORLAND PARK

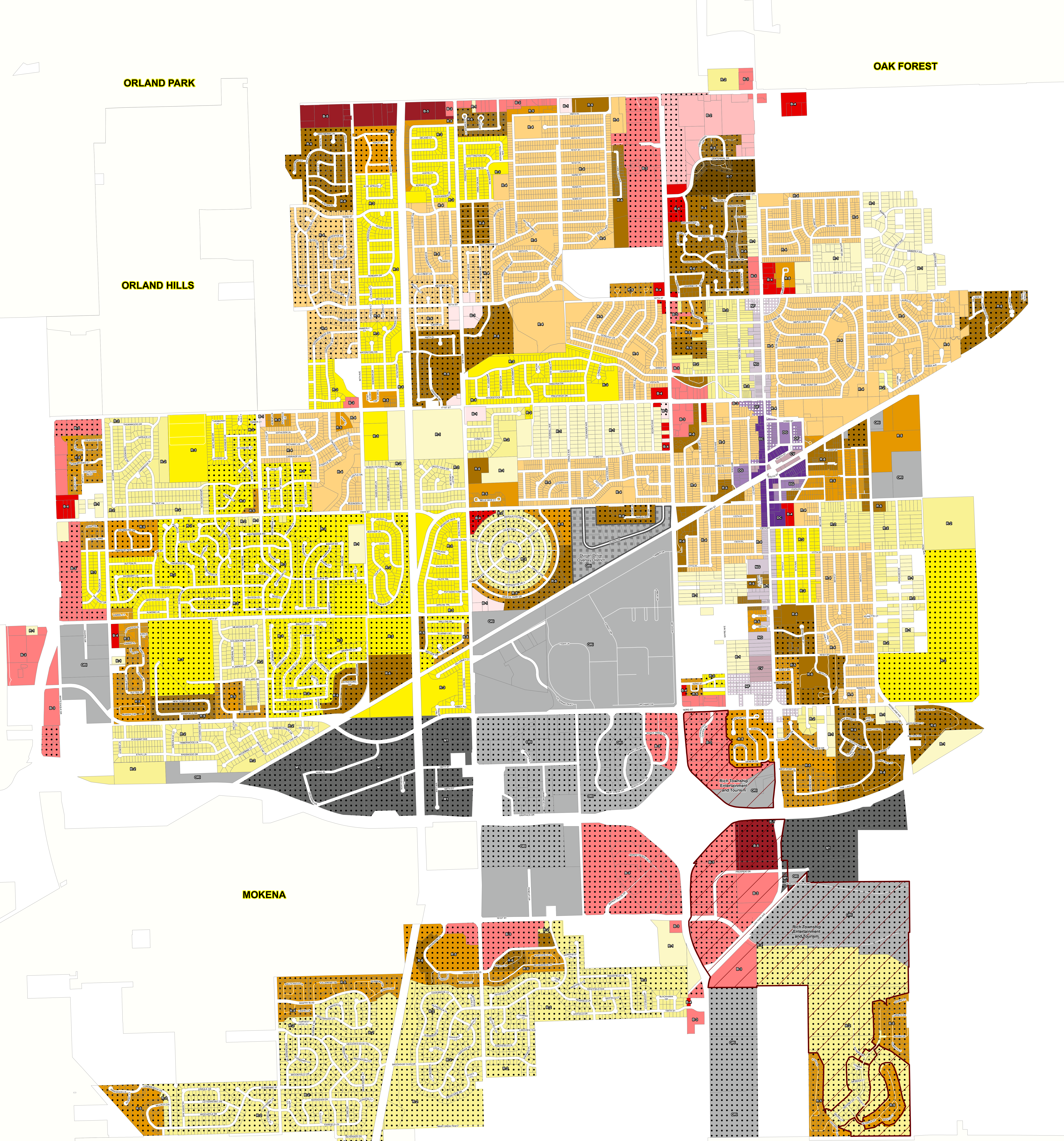
OAK FOREST

ORLAND HILLS

MOKENA

FRANKFORT

MATTESON



Zoning			
Residential	Commercial	Downtown Legacy District	Overlay Districts
R1	B1	CV	Planned Unit Development (PD)
R2	B2	DC	Rich Township Entertainment and Tourism Overlay District (RTETO)
R3	B3	DF	Mixed-Use Duvan Drive Overlay District (MU-1)
R4	B4	DG	
R5	B5	NF	
R6	ORI	NG	
R7	M1		